



TOWN OF YEMASSEE PLANNING COMMISSION MEETING

Tuesday, January 3, 2023 - 3:00PM

Yemassee Municipal Complex, 101 Town Cir, Yemassee, SC

I. Call to Order

II. Roll Call

III. Public Comments

- a. Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to the Commission, Staff, or other members of the meeting. State your name and address for the record. Comments are limited to Two (2) Minutes.

IV. Old Business

- a. Approval of the December 6, 2022, Committee Meeting Minutes
- b. **Isabell Bing / Danielle Rease (Annexation Request / Public Hearing):** A request for a recommendation of approval for the annexation of an approximately 3.00 acre parcel located on Interstate 95 near mile-marker 39.6, Hampton County, and further identified by Hampton County Tax Map Number: 197-00-00-056 via the 100% Petition and Ordinance Method with a concurrent Zoning Map Amendment requesting a rezoning from the current zoning of General Development District pursuant to the Hampton County Zoning Ordinance to Agricultural (AG) pursuant to the Town of Yemassee Zoning Ordinance, into the Town of Yemassee corporate limits. (ANNX-11-22-1112)
- c. **Pine Street Development (Planned Unit Development Conceptual Application / Public Hearing):** A request by Ironline Metals, LLC. For consideration of approval for a Planned Unit Development Conceptual Application. The project consists of development of up to 200,000sqft of commercial and Light Industrial occupancies and 107 single-family residential dwellings and associated infrastructure. The properties are identified by Hampton County Tax Map Numbers: 204-01-05-005, 204-01-05-013 & 203-00-00-046 located along Jinks Street and U.S. Highway 17A in Yemassee. Parcel -005 is zoned Residential ¼ Acre (R4A) and Parcel -013 is zoned Office Commercial District. The portions of the property abutting U.S. Highway 17ALT are within the Highway Corridor Overlay District (HCOD).
- d. **Thompson Rezoning Request (39 Mixon St):** A request by Denis Thompson, for approval of an Amendment to the Town of Yemassee Official Zoning Map to rezone one (1) parcel from Residential ¼ Acre

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Yemassee policies.”

(R4A) to General Residential (GR). The subject parcel consists of 0.38 acres; located at 39 Mixon St and identified by Hampton County Tax Map Number: 204-02-03-007. **(ZONE-08-22-1077)**

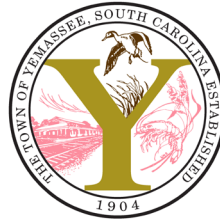
V. New Business

- a. **White Tract (Annexation Request / Initial Presentation):** A request for a recommendation of approval for the annexation of an approximately 1.77 acre parcel located at 97 Kippit Ln, Beaufort County, and further identified by Beaufort County Tax Map Number: R700 019 000 098C 0000 via the 100% Petition and Ordinance Method with a concurrent Zoning Map Amendment requesting rezoning from the current zoning of Sheldon-Big Estate Community Preservation pursuant to the Beaufort County Community Development Code to Agricultural (AG) pursuant to the Town of Yemassee Zoning Ordinance, into the Town of Yemassee corporate limits. **(ANNX-03-22-1022)**

VI. Adjournment

The next regularly scheduled meeting of the Town of Yemassee Planning Commission is Tuesday, February 7, 2023 at 3:00PM.

Mayor
Peggy Bing-O'Banner
Mayor Pro Tempore
Matthew Garnes
Town Clerk



Council Members
Alfred Washington
Stacy Pinckney
David Paul Murray

Planning Commission Agenda Item

Subject: Approval of the December 6, 2022, Committee Meeting Minutes

Meeting Date: January 3, 2023

Submitted by: Matthew Garnes, Town Clerk

Attachments:

<input type="checkbox"/>	Draft Ordinance	<input type="checkbox"/>	Resolution	<input type="checkbox"/>	Other
<input checked="" type="checkbox"/>	Support Documents	<input checked="" type="checkbox"/>	Motion	<input type="checkbox"/>	

Summary: Minutes from the December 6, 2022, Town of Yemassee Planning Commission Meeting.

Recommended Action: If no corrections, approve as presented.

Commission Action:

- Approved as Recommended
- Approved with Modifications
- Disapproved
- Tabled to Time Certain
- Other

Town of Yemassee
Planning Commission Meeting Minutes
December 6, 2022 / 3:00PM
Yemassee Municipal Complex, 101 Town Cir, Yemassee, SC 29945-3363

Present: Joe Riley, Ethel Denmark, Sharon Mansell (video), and Adonis Riley

Staff Present: Matthew Garnes, Town Clerk, Caroline Koger

Absent: Jay Holloway

Media Present: Lowcountry Inside Track

Call to Order:

The Town of Yemassee Planning Commission meeting was called to order at 3:10 PM
Chairman Adonis Riley.

Roll Call:

All members in attendance except Jay Holloway.

Determination of Quorum:

Quorum satisfied.

Old Business:

Approval of the November 1, 2022, Planning Commission Meeting Minutes. Chairman Riley asked if there were any corrections or changes with the minutes. Ms. Ethel Denmark made the motion to approve the minutes as presented. Second by Mr. Joe Riley. All in favor, motion passed.

Pulaski - Rezoning Request (Public Hearing) - Chairman Riley asked Mr. Garnes to provide background on this request. The applicant is Ms. Jan T. Pulaski for three (3) tracts totaling 1.69 acres located on Salkehatchie Road, just east of U.S. Highway 17A. Two (2) of the tracts are undeveloped and the third has a single-family dwelling situated on it. The land is zoned Mixed* Use (MU) and is within the Historic Preservation Overlay District / Olde Towne Overlay and the owner is requesting it to be changed to General Residential (GR). The applicant is seeking to sell the property and wishes to allow a manufactured / mobile home park which is not permitted in a Mixed-Use District. With very few properties being left undeveloped within the boundaries of the downtown district / olde towne, Staff believes this use would limit the ability of the remainder of the property to develop as intended within the Town's Comprehensive Plan. Also, the lots are relatively small in size, and Staff has concerns about the viability of the internal road structure on such a small footprint.

After hearing Staff comments, Chairman Riley then opened the public hearing regarding this re-zoning request.

Stephen Henson (17 Mixon St) - Mr. Henson stated that this is a move in the wrong direction. The Town is trying to improve this area and allowing mobile homes would hinder this. Also, he has heard complaints there are not enough locations within the Town to put a mobile home. He has counted them and found there are over 250 lots suitable for and zoned for mobile homes currently within Town limits.

Phil Williams (51 Salkehatchie Rd) - Mr. Williams owns a 2-bedroom, 1-bath house adjacent to the property. He believes a mobile home park would be a distraction for him and he sees no benefit to the Town. He is also concerned with additional traffic.

Nick Moskos (42 Salkehatchie Rd) - Mr. Moskos lives adjacent to the property in question. When he was searching for property to buy and a place to live, he specifically selected this location because it is within the Historic District Overlay. This change would lower the value of his house drastically.

Robert Steif (4 Trask Parkway) - Mr. Steif voiced that this area is a great area for development and allowing for mobile homes would make the area much less desirable. He also believes there are other places within the Town that are appropriate for mobile homes.

With no more public comments, Chairman Riley closed the public hearing. Ms. Ethel Denmark made a motion to deny the rezoning request. Mr. Joe Riley seconded the motion. All in favor, motion passed. Request denied unanimously.

Jinks-Corbett Tract - Annexation Request (Public Hearing)- Chairman Riley asked Mr. Garnes to provide background on this request. This 53-acre property between Hwy 17A and is zoned General Development District within Hampton County. Staff would like to annex the property into the Town and change the zoning to Conservation Preservation District (CPD). The owners of the property plan to develop a small portion of it into a manufacturing facility and a housing development with outdoor recreational opportunities. Staff believes this would allow for many opportunities for the Town and recommends the Annexation and Rezoning be approved.

Stephen Henson (17 Mixon St) - Mr. Henson commented this property joins property already within the Town and is a good opportunity to grow single-family dwellings.

Robert Steif (4 Trask Parkway) - Mr. Steif agrees completely with Mr. Henson.

With no more public comments, Chairman Riley closed the public hearing. Mr. Joe Riley made a motion in favor of the annexation and rezoning request. Ms. Ethel Denmark seconded the motion. All in favor, motion passed. The commission will forward this request with a recommendation of approval to Town Council.

New Business:

2023 Town of Yemassee Planning Commission Public Meeting Schedule- The Town of Yemassee Planning Commission 2023 Meeting Schedule was reviewed. Ms. Ethel Denmark made a motion to approve the schedule. Mr. Riley seconded the motion. All in favor, motion passed.

Isabell Bing / Danielle Rease (Annexation Request) - Staff is recommending the approval for the annexation of an approximately 3-acre parcel located on Interstate-95 near mile-marker 39.6. Ms. Ethel Denmark made a motion to forward this to the full council with a recommendation to approve the annexation. Mr. Joe Riley seconded the motion. All in favor, motion passed. Pending approval of first reading by Town Council next week, a Public Hearing will be scheduled for the January 2023 Planning Commission meeting.

Stoney Creek at Bindon (Street Naming Application) - A request by Ryan Lyle of Andrews Engineering, on behalf of Chris Ramm of Taylor Development Group for approval of a street naming application on Phases 1 and 2 of the Stony Creek at Bindon development. The developers worked with the Town and County to find names not currently in use, confusing or not appropriate for other reasons. Phase 1 will be named Upland Pine Drive and Phase 2 will be named Laurium Drive. Ms. Ethel Denmark made a motion to accept these names. Ms. Sharon Mansell seconded the motion. All in favor, motion passed.

Pine Street Development (Planned Unit Development Conceptual Application) - This is related to the Jinks-Corbett Tract Annexation and Rezoning Request earlier in the meeting. Mr. Huber, owner of Ironline Metals, LLC explained their plans for the area. They would like to develop a 200,000 sq. ft. commercial and light industrial facility and to build 107 single-family residential dwellings and associated infrastructure. After answering several questions Ms. Sharon Mansell made a motion to schedule a Public Hearing in January 2023 to gain input from the community on the request. Mr. Ethel Denmark seconded the motion. All in favor, motion passed.

Adjournment - Mr. Joe Riley made the motion to adjourn. Second by Ms. Ethel Denmark. All in favor, motion passed. Meeting adjourned at 4:00 p.m.

Recommended Motion
(December 2022 PC Meeting Minutes)

I make a motion to:

- ***Adopt***
- ***Adopt with Corrections***
- ***Deny***

***“Minutes of the December 6, 2022 Planning
Commission.”***

Mayor
Peggy Bing-O'Banner
Mayor Pro Tempore
Matthew Garnes
Town Clerk



Council Members
Alfred Washington
Stacy Pinckney
David Paul Murray

Planning Commission Agenda Item

Subject: Consideration for a Request for Annexation of approximately 3.00 acres of land located on Interstate 95 near mile marker 39.6 and further identified by Hampton County TMS: 197-00-00-056

Meeting Date: January 3, 2023

Submitted by: Matthew Garnes, Town Clerk

Attachments:

	Draft Ordinance		Resolution		Other
√	Support Documents	√	Motion		

Summary: Last month, Planning Commission heard a request for annexation for 3.00 acres of land on Interstate 95 in Hampton County and recommended advancing the application to Town Council and to schedule a Public Hearing. Town Council conducted first reading at their December 2022 Town Council meeting and is on the agenda for today's meeting for the purposes of conducting a Public Hearing and yielding a recommendation on the request.

Recommended Action: Conduct Public Hearing on this Annexation Request and approve to send to Town Council for final consideration.

Commission Action:

- Approved as Recommended
- Approved with Modifications
- Disapproved
- Tabled to Time Certain
- Other



Staff Report Administration



January 3, 2023

Project: Isabell Bing Annexation

Case Number: ANNX-11-22-1111

1. Request

Town Staff requests that the Planning Commission conduct a Public Hearing and recommend advancing this request to Town Council. The applicant is seeking Annexation and Zoning Map Amendment to annex certain real property consisting of a total 3.00 acres, more or less, and bearing Hampton County Tax Map No. 197-00-00-056 (the "Property") and establish zoning as Agricultural (AG) subject to the Town of Yemassee Zoning Ordinance.

Introduction: Town Staff received a request for annexation via the 100% Petition and Ordinance method of a single, undeveloped tract of land along Interstate 95 near mile-marker 39.6, which is just north of the Salkehatchie Road overpass. The property is on both sides of Interstate 95 as the property was cut for the construction of the Interstate Highway System. Staff have reviewed the submission and ensured that contiguity was established to the parcel seeking annexation.

Staff presented the Planning Commission with this request for an initial presentation at the December 2022 Planning Commission meeting. The Commission voted to advance the request to the Town Council for first reading and to schedule a Public Hearing for this request at the January 2023 Planning Commission meeting. Town Council approved first reading at their December Town Council meeting.

2. Parcel Information

Tax Map Number: 197-00-00-056

Acreage: 3.00

Current Zoning: General Development (Hampton County Zoning)



Staff Report Administration



Current Use: Undeveloped land

Proposed Zoning: Agricultural (AG)

Contiguity: The parcel petitioning for annexation is contiguous to the primary service area and achieves its contiguity via Interstate 95 from the Helen O'Garro Brown tract, which was annexed in late 2018 during the Salkehatchie West annexations.

3. Adjacent Land Use / Zoning

The parcel is surrounded by the following properties and jurisdictions:

Direction	Parcel	Owner	Jurisdiction
North	197-00-00-055 Interstate 95	Elnora Locklair	Hampton County
East	197-00-00-063 193 Ebenezer Rd	Darlene B. Scurry Faye Allen	Hampton County
West	197-00-00-014 328 Louis Davis Rd	Stanley Davis	Hampton County
South	197-00-00-059 Interstate 95	Helen O'Garro Brown	Town of Yemassee

4. Staff Comments

- The Town of Yemassee will be able to furnish all town services upon annexation.
- The parcel would be subject to the adopted millage rate at the time of annexation, the adopted millage rate within the Hampton County portion of the Town of Yemassee is 74.00 mills.
- Being that the parcel of land seeking Annexation is along Interstate 95, upon Annexation, the property would be within the boundaries of the Highway Corridor Overlay District and be subject to the provisions of Section 5.17 of the Town of Yemassee Zoning Ordinance.



Staff Report Administration



3. Maps



*Parcel proposed for annexation outlined in purple.



Staff Report Administration



4. Analysis

The following analysis has been conducted on the parcel petitioning for Annexation.

- 1.) The application is in the best interests of the Town of Yemassee and its residents.**
 - a. *Finding:* Staff completed a Cost/Benefit Analysis and provided the property owner with an estimated tax liability upon Annexation.
- 2.) The property has contiguity to the Town of Yemassee corporate limits**
 - a. *Finding:* The property is contiguous to the Town of Yemassee corporate limits to the south.
- 3.) Does the Annexation avoid creating new doughnut holes or enclaves in the Town Limits?**
 - a. *Finding:* The proposed Annexation will not create any new doughnut holes or enclaves in the Town of Yemassee corporate limits.
- 4.) The Annexation will not create a tax burden or measurably reduce the level of service(s) provided to existing citizens and property owners.**
 - a. *Finding:* Based on the current use of the property, a tax burden is not created and a reduction in the level of service is not anticipated in the first year of Annexation.
- 5.) Consideration of the Annexation areas existing utilities, transportation, and infrastructure.**
 - a. *Finding:* The franchised water and sewer provider in the Town of Yemassee is Lowcountry Regional Water. Dominion Energy currently provides electric and natural gas services. Telecommunications service can be provided by Frontier or Xfinity (Comcast) Communications.



Staff Report Administration



6.) The full impact the Annexation will have on Law Enforcement has been considered.

- a. *Finding:* The Police Department has advised this parcel will not have a negative impact on the services provided by the Yemassee Police Department. Upon annexation, the primary response agency will be the Yemassee Police Department, with backup provided via a Mutual-Aid agreement with the Hampton County Sheriff's Office.

Attachments

- Annexation Petition
- Maps of general Area
- Receipt for publishing Public Notice for Public Hearing



**TOWN OF YEMASSEE
ANNEXATION APPLICATION**

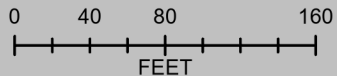
Town of Yemassee

NOV 30 2022

Received

Town of Yemassee
Attn: Administration Department
101 Town Cir
Yemassee, SC 29945-3363
(843) 589-2565 Ext. 3
<http://www.townofyemassee.org>

Applicant		Property Owner	
Name: Isabell Bing		Name: Isabell Bing	
Phone:		Phone:	
Mailing Address: 312 MAY OAK RD COLUMBIA SC 29229		Mailing Address: 312 MAY OAK RD COLUMBIA SC 29229	
E-mail:		E-mail:	
Town Business License # (if applicable): N/A			
Property Information			
County: <input type="checkbox"/> Beaufort <input checked="" type="checkbox"/> Hampton <input type="checkbox"/> Jasper		Acreage: 3.00	
Property Location: Interstate 95 MM 39			
Existing Zoning: General Development (Hampton Co)		Proposed Zoning: Agricultural	
Tax Map Number(s): 197-00-00-056			
Project Description: Annexation of three acre tract on I-95			
Select Annexation Method			
<input checked="" type="checkbox"/> 100 Percent Petition and Ordinance Method		<input type="checkbox"/> 75 Percent Petition and Ordinance Method	<input type="checkbox"/> 25 Percent Elector Petition and Election Method
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Completed Annexation Petition(s) <input checked="" type="checkbox"/> 2. Copy of plat and/or survey of area requesting annexation <input checked="" type="checkbox"/> 3. Parcel Information from the appropriate County Assessor's Office			
Note: Application is not valid unless signed and dated by property owner.			
Disclaimer: The Town of Yemassee assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property.			
Property Owner Signature: <i>Donnelle V. Spear</i>		Date: 11/28/2022	
Applicant Signature: <i>Donnelle V. Spear</i>		Date: 11/28/2022	
For Office Use			
Application Number: ANNEX-11-22-1111		Date Received: 11/30/22	
Received By: M. Garnes		Date Approved:	



197-00-00-056.

197-00-00-054.

PROPOSED
ANNEXATION
AREA



INTERSTATE 95

197-00-00-056.



THANK YOU for your legal submission!

Your legal has been submitted for publication. Below is a confirmation of your legal placement. You will also receive an email confirmation.

ORDER DETAILS**Order Number:**

IPL0101153

Order Status:

Submitted

Classification:

Legals & Public Notices

Package:

HHI - Legal Ads

Final Cost:

65.14

Payment Type:

Account Billed

User ID:

IPL0026087

ACCOUNT INFORMATION

TOWN OF YEMASSEE IP

101 Town Cir

YEMASSEE, SC 29945-3363

803-589-2565

mattgarnes@townofyemassee.org

TOWN OF YEMASSEE

TRANSACTION REPORT**Date**

December 6, 2022 10:48:29 PM EST

Amount:

65.14

SCHEDULE FOR AD NUMBER IPL01011530

December 8, 2022

The Island Packet (Hilton Head)

PREVIEW FOR AD NUMBER IPL01011530**Town of Yemassee
Public Hearing**

NOTICE IS HEREBY GIVEN that the Town of Yemassee Planning Commission will hold a Public Hearing on Tuesday, January 3, 2023, at 3:00 PM at the Yemassee Municipal Complex, 101 Town Cir, Yemassee, SC 29945, for the purpose of soliciting input on the following:

DPLN-11-22-1109 by Tim Huber of Iron-line Metals, for a request for approval of a Planned Unit Development Concept Plan Application for 104.4 acres of land, located on U.S. Highway 17A, Hampton County, Town of Yemassee. The subject parcels are identified by Hampton County TMS: 204-01-05- 013, 204-01-05-005 & 203-00-00-046.

ANNX-11-22-1111 by Danielle V. Rease., for a request for annexation of approximately 3.00 acres of land, located on Interstate 95, Hampton County, into the Town of Yemassee. The subject property is identified by Hampton County Tax Map Number:197-00-00-056.

Persons with comments or questions should contact the Town of Yemassee Administration Department at (843) 589-2565 Ext. 3. Persons requiring special services to attend the meeting should call to make arrangements.

IPL0101153

Dec 8 2022

[<< Click here to print a printer friendly version >>](#)

Recommended Motion

(Isabelle Bing / Danielle Rease Annexation)

I make a motion to:

- ***Advance***
- ***Table to time certain***
- ***Deny***

***“the Annexation Request submitted by Isabelle Bing /
Danielle Rease.”***

Mayor

Peggy Bing-O'Banner

Mayor Pro Tempore

Matthew Garnes

Town Clerk



Council Members

Alfred Washington

Stacy Pinckney

David Paul Murray

Planning Commission Agenda Item

Subject: A request by Ironline Metals, LLC. for consideration of approval for a Planned Unit Development Conceptual Application. The project consists of development of up to 200,000sqft of commercial and Light Industrial occupancies and 107 single-family residential dwellings and associated infrastructure.

Meeting Date: January 3, 2023

Submitted by: Matthew Garnes, Town Clerk

Attachments:

	Draft Ordinance		Resolution		Other
√	Support Documents	√	Motion		

Summary: Last month, Planning Commission members reviewed a request for approval for a Planned Unit Development Conceptual Plan for a proposed development near the intersection of U.S. Highway 17A & Jinks Street in Hampton County. See attached staff report.

Recommended Action: Conduct Public Hearing on this application and consider advancing the application to Town Council for final consideration.

Commission Action:

- Approved as Recommended
- Approved with Modifications
- Disapproved
- Tabled to Time Certain
- Other



Final Staff Report Administration



January 3, 2023

Project: Planned Unit Development (PUD) Concept Plan Application - Ironline

1. Request

A request by Tim Huber of Ironline Metals, LLC., for approval of a Planned Unit Development (PUD) Concept Plan application. The applicant is proposing a one hundred seven (107) single-family home residential community and a 100,000sqft industrial operation on U.S. Highway 17A. The project consists of +/- 104.40 acres identified by Hampton County tax map numbers 204-01-05-013, 204-01-05-005 & 203-00-00-046 located at the corner of Jinks Street and U.S. Highway 17A

2. Background

In September 2022, Staff received a pre-application meeting request to discuss the proposed project and ask questions regarding zoning and development regulations in the Town. Based on the overview of the project discussed at the Pre-Application Meeting, Staff recommended if the applicant was interested in pursuing the project that they consider Planned Unit Development. The applicant also owns a third parcel in the rear of the development that is largely wetland that was outside of Yemassee Town limits however was annexed into the Town last month. The Planning Commission reviewed the request at the December meeting and recommended advancing the request and scheduling a Public Hearing.



Final Staff Report

Administration



3. Staff Recommendation/Remarks

Staff offered the following comments, recommendations and remarks based on application and submittal documents at the December meeting.

Section I – Site Development

- In paragraph three, the wrong tax map number for the wetland tract is identified. Update to 203-00-00-046 **(Submitted by M. Garnes)**
- Paragraph 5 - Update master plan to include the parcel to be annexed as Tract 4 **(Submitted by M. Garnes)**
- Page 4.) Water & Sewer Service - Draft references the water and wastewater being provided by "Town of Yemassee Water and Sewer Department (YW&S)". This does not exist, the entity serving the Town of Yemassee is Lowcountry Regional Water System "LRWS". **(Submitted by M. Garnes)**
- Page 4.) Water & Sewer Service - We'd like to offer a comment on Section F, Water & Sewer Service. Lowcountry Regional Water System should be noted as the water and sewer provider rather than the Town of Yemassee. Once we receive the water and sewer demand calculations and plan showing proposed improvements, we can evaluate our ability to serve and accept the project and calculate impact fees. **(Submitted by K. Foy, LRWS Engineering)**
- Page 5.) Roadways & Traffic - In accordance with Section 4.8 of the Town of Yemassee Development Standards Ordinance (DSO), based on the proposed size of the development a traffic impact analysis is warranted. The applicant is seeking to use the existing Jinks Street roadway as well as an entrance north of that intersection on U.S. Highway 17A, with both having a deceleration lane proposed. **(Submitted by M. Garnes)**

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Final Staff Report

Administration



Section III – Changes and Exemptions

- The applicant is seeking four modifications to typical zoning requirements as part of the Planned Unit Development. Those modifications are as follows:
 - Modification #1 - Amending permitted use under the Light Industrial District (LID) to specifically allow “manufacturing light gauge steel framing products including steel studs for residential and commercial buildings”.
 - Modification #2 - Lowering the minimum lot size for LID from twenty-five (25) acres to ten (10) acres, Adjusting setbacks from commercial uses from fifty (50) feet to twenty-five (25) feet and from one hundred (100) feet to seventy-five (75) feet from a major thoroughfare.
 - Modification #3 - Adjusting minimum residential lot size from 10,890sqft to 6,000sqft, adjusting the front yard setbacks from fifteen (15) feet to ten (10) feet from the street right-of-way line and adjusting the side yard setbacks from ten (10) feet to five (5) feet.
 - Modification #4 - The applicant is seeking relief on the minimum distance between access points from one thousand five hundred (1,500) feet to four hundred (400) feet and waiving the requirement for any new development to have access points at least one thousand five hundred (1,500) feet apart to four hundred (400) feet apart.

The applicant has provided the Commission and Staff with the requested information that clarification was sought since the last meeting. Staff would like further clarification on proposed buffers between the between the industrial area and the residential area.



Final Staff Report

Administration



4.) Attachments

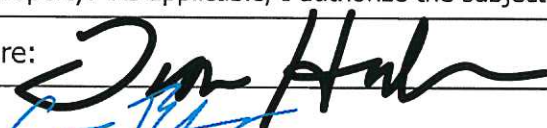


- "Attachment A" – PUD Concept Plan Application
- "Attachment B" – Pre-Application Meeting Request dated September 2022 and conceptual plan provided at time of Pre-Application Meeting
- "Attachment C" – Transmittal letter from Ward Edwards for PUD Concept Plan Application
- "Attachment D" – Proposed Ironline PUD Area
- "Attachment E" – Narrative for Proposed PUD Concept Plan and Master Plan submitted by Witmer-Jones-Keefer, Ltd.
- "Attachment F" – Site Location Map



**TOWN OF YEMASSEE
PLANNED UNIT DEVELOPMENT
(PUD) CONCEPT PLAN APPLICATION**

Town of Yemassee
Attn: Administration Department
101 Town Circle
Yemassee, SC 29945-3363
(843) 589-2565 Ext. 3
<http://www.townofyemassee.org>

Town of Yemassee
NOV 29 2022
Received

Applicant		Property Owner	
Name: Ironline Metals, LLC		Name: Ironline Metals, LLC	
Phone: 502-315-1722		Phone: 502-315-1722	
Mailing Address: 1515 Ormsby Station Ct., Louisville, KY 40223		Mailing Address: 1515 Ormsby Station Ct., Louisville, KY 40223	
E-mail: tim@ironlinemetals.com		E-mail: tim@ironlinemetals.com	
Town Business License # (if applicable):			
Project Information			
Project Name: Pine Street Development		<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment
Project Location: NW of the intersection of US Hwy 17A & Jinks St		Acreage: 104.4	
PUD Name: Pine Street Planned Unit Development			
Tax Map Number(s): 204-01-05-013, 204-01-05-005, 204-01-05-046			
Project Description: The proposed development is to include a combination of residential and light industrial uses, to provide quality economic development and housing opportunities within the Town of Yemassee. The proposed PUD designation is necessary to accommodate the mix of land uses and provide for the responsible planning and development of the property over time.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) full sized copies and digital files of the Concept Plan. <input checked="" type="checkbox"/> 2. Recorded deed and plat showing proof of property ownership. <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article(s) 4 & 6 of the DSO. <input type="checkbox"/> 4. An Application Review Fee as determined by the Town of Yemassee Schedule of Rates & Fees.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Yemassee assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 11/28/2022	
Applicant Signature: 		Date: 11/28/2022	
For Office Use			
Application Number: DPLN-11-22-1109		Date Received: 11/29/22	
Received By: M. Garner		Date Approved: 	



**TOWN OF YEMASSEE
PRE APPLICATION MEETING
REQUEST**

Town of Yemassee
SEP 14 2022
Received

Town of Yemassee
Attn: Administration Department
101 Town Circle
Yemassee, SC 29945-3363
(843)589-2565 Ext. 3
www.townofyemassee.org

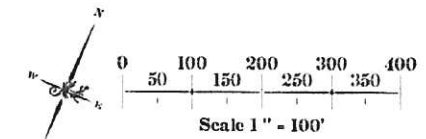
Applicant		Property Owner	
Name: Ironline Metals, LLC c/o Ward Edwards, Inc.		Name: Ironline Metals, LLC	
Phone: 757-814-0824		Phone: 812-719-0008	
Mailing Address: PO Box 381, Bluffton, SC 29910		Mailing Address: 706 Jefferson St, Tell City, IN 47586	
E-mail: cblaney@wardedwards.com		E-mail: tim@ironlinemetals.com	
Town Business License # (if applicable):			
Project Information			
Type of Application: Commercial		Project Name: Ironline Metals	
Project Location: US Hwy 17A to the Southeast, Lacy St to the Southwest, Jenks St intersects			
Tax Map Number(s): 204-01-05-013, 204-01-05-005			
Existing Use: Undeveloped		Proposed Use: Metal Factory	
Total Acreage: 11.86	Dwelling Units:	Total Square Footage: ±100,000	
<p>Project Narrative:</p> <p>The developer is proposing to add a steel manufacturing building at the corner of Jenks Street and US-21. The existing Jenks Street would be improved/paved within the right of way at a 24' width, and a new access point along US-21 is proposed for larger truck traffic. Truck access through the building is anticipated to allow for the loading/unloading of steel/ equipment. The project area is approximately 11.86 acres of the 102.4 acres of land. The remaining portion of uplands is anticipated for a future phase of residential housing.</p>			
<p>Disclaimer: The Town of Yemassee assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</p>			
<p>I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.</p>			
Property Owner Signature: <i>[Signature]</i>		Date: 9/14/22	
Applicant Signature: <i>[Signature]</i>		Date: 9/7/22	
For Office Use			
Application Number: PAPP-09-22-1079		Date Received: 9/5/22	
Received By: M. Gains		Date Approved: N/A	



CLIENT: XXX
 JULY 07, 2022

PAPP-09-22-1079

CONCEPTUAL PLAN
 FOR
PINE STREET RESIDENTIAL
 YEMASSEE, SOUTH CAROLINA



Note: Plan is conceptual in nature and subject to change



TRANSMITTAL LETTER

DATE: WE PROJECT NUMBER

PROJECT NAME:

SUBJECT:

ATTN TO: CC:

COMPANY:

ADDRESS:

CITY: STATE ZIP CODE:

We transmit the following:

COPIES	DATE	DESCRIPTION	ACTION
6	Nov 29, 2022	PUD Application Packages	<input type="text"/>
			<input type="text"/>
			<input type="text"/>
			<input type="text"/>
			<input type="text"/>
			<input type="text"/>

Remarks:

Conor Blaney, PE
 cblaney@wardedwards.com
 757-814-0824

PLANNED UNIT DEVELOPMENT
AND
MASTER PLAN

FOR

PINE STREET

Town of Yemassee, South Carolina

FOR

RAMSEY DEVELOPMENT

BY

WITMER - JONES – KEEFER, LTD.

23 PROMENADE STREET, SUITE 201

DRAFT

December 21, 2022

**PLANNED UNIT DEVELOPMENT
AND
MASTER PLAN
PINE STREET**

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Appendix I	Development Schedule
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PINE STREET PLANNED UNIT DEVELOPMENT MASTER PLAN

SECTION I – SITE DEVELOPMENT

A. THE PROPERTY

The Pine Street Planned Unit Development (PUD) is located in Yemassee, South Carolina with frontage on Highway 21 / US 17. The tract is located approximately 1 mile north of the Yemassee Hwy and is approximately 104.45 acres. A site location map is provided in Appendix A.

The Pine Street Tract is currently owned by Iron Line Metals (“Owner”), its successors or assigns. The Owner proposes that this property be zoned and developed as a PUD in accordance with the Town of Yemassee Zoning Ordinance (ZO) in effect at the time of submittal to Town of Yemassee. The PUD designation will be utilized to encourage unified planning and development, promote economical and efficient land use, foster a harmonious variety of uses, encourage creative design, and produce a better environment.

The Pine Street Tract (TM# 203-00-00046, 204-01-05-005, 204-01-05-005, 204-01-05-013); is currently vacant undeveloped land. The property has approximately 700 linear feet frontage on Highway 17/21 to the south and has access from Pine Street to the North. Jinks Road bisects the property connection Highway 17 to Pines street and Old Salkehatchie Highway. A site survey is included as Appendix B. See section I.C. and Appendix H for detail related to the Master Plan.

The property encompasses approximately 104.45 acres which consist of +/-66.95 acres non-jurisdictional freshwater wetlands, and 37.5 acres of upland. The property does not contain any saltwater marsh critical areas and has no frontage on critical areas. The U.S. Army Corps of Engineers (USACE) wetland verification are pending. Appendix C. Preliminary soil data has been evaluated using available on site soil data and USDA soils information. The soils are expected to be acceptable and suitable for the proposed site development. USDA soils data is included as Appendix D.

The 2.5 acres of Pine Street fronting Highway 17/21 is currently zoned **Office Commercial District**; the additional 55.64 acres located in the Town of Yemassee is currently zoned **Single Family Residential ¼ acre District**; and remaining 46.31 acres located in Hampton County is zoned Rural Development. The master plan includes the parcel to be annexed as Parcel 4. The adjacent land uses to the north is Hampton County Rural Development; to the west are residential properties and Light industrial

zoning; and residential property to the east. Pine Street will be developed in 2-3 phases over an approximately 5 year period. An aerial overlay map of the PUD and surrounding area is included as Appendix E.

Based on a review of the USGS Jasper quadrangle map and preliminary site surveys, site elevations range from approximately 8-38 feet above mean sea level. A portion of the Topo survey is included as Appendix B. The site is currently forested and drainage flows north-east towards the existing wetland A.

Based on a review of FEMA Maps, all of the PUD property occurs outside of a designated flood zone areas A portion of FEMA Map is included as Appendix G.

B. PLANNED UNIT DEVELOPMENT(PUD)

The PUD overlay zone was adopted by the Town of Yemassee Council to *'encourage flexibility in land planning that will result in improved design, character, and quality of new homogenous and mixed use developments; to promote the most appropriate use of land ; to facilitate the provision of streets and utilities; and to preserve the natural and scenic features and open space.'*

C. MASTER PLAN

Pine Street is an approximately 104.45 acre tract of land located in Town of Yemassee, South Carolina. It is anticipated that the property will be developed over a period of 5 years, in accordance with the Master Plan set forth in this document or amended in the future. The Master Plan sets forth the general scope of the development including number of units, phasing, development standards, open space and other issues. In addition to the Master Plan, development of the property is controlled by other provisions of the PUD. The Master Plan included in Appendix H.

The goal of the development is to provide quality economic development and housing opportunities within the Town of Yemassee. PUD designation is necessary to accommodate the mix of land uses and provide for the responsible planning and development of the property over time.

The Pine Street Master Plan, prepared by Witmer-Jones-Keefer, shows a general access locations and areas designated for Light Industrial and Residential Development. Proposed land uses in the Light Industrial and Residential development areas are detailed under Section 2 - Land Use Designation and Definitions.

The Pine Street PUD property is a 104.45 acre property with 11.48 acres Light Industrial Tract '1'; 46.5 acre Residential Tract '2-3' and 46.31 acres Wetland preservation Tract 4. Appropriate buffers shall be provided between incompatible land uses. Buffer widths are described in Section II.D.11 of the PUD.

Development is planned to occur in accordance with the Development Schedule presented in Appendix I which is preliminary and subject to change based on market conditions.

The proposed Master Plan will maintain open space requirements per Town of Yemassee zoning ordinance. The open space and amenities will be owned and maintained in the manner approved with appropriate covenants and restrictions by the developer, homeowner's association, or other legally designated entity. Property deeded to a governmental entity becomes the maintenance responsibility of that entity.

Activities along any external property lines of the PUD shall conform to the setback, buffer, screening as described in Section II.D.3 of the PUD. Height requirements shall conform to the latest adopted version of the Town of Yemassee Zoning Ordinance (ZO).

The Master Plan constitute a request for a waiver from the current Town of Yemassee ZO . However, activities in the PUD shall conform to all other Town of Yemassee Ordinances and Regulations where differences do not occur.

The provisions of the Master Plan shall apply to development in the Pine Street PUD. In the event of a conflict, the hierarchy of documents is the following: 1) PUD and Master Plan; 2) Town of Yemassee ZO and LDR in effect at the time of Final Adoption of the Pine Street PUD.

D. ENVIRONMENTAL PROTECTION

Environmental protection is a priority for the Applicant. As part of the development process, Pine Street developers will meet or exceed the stormwater management requirements of the Town of Yemassee ZO /Stormwater Regulations and the South Carolina Department of Health's Office of Ocean and Coastal Resource Management (OCRM).

Pine Street developers will prepare stormwater management plans for the tracts of land as they are developed. The plan will address the hydrological characteristics of the site as well as predevelopment conditions and post-development stormwater management facilities for flood control and sediment reduction.

Freshwater wetlands on the property are typical of the South Carolina Lowcountry. Approximately 66.95 percent of the site is non-jurisdictional freshwater wetlands. A plat indicating the freshwater wetlands on the property is included in Appendix C.

On-site wetland impacts resulting from the development of the Pine Street PUD will be permitted jointly through the USACE and OCRM. All impact mitigation will be accomplished through a combination of buffers and preservation of jurisdictional wetlands located on the property and will meet or exceed state and/or federal standards.

E. CULTURAL AND HISTORICAL RESOURCES

As part of the comprehensive study of the property, a preliminary assessment of the cultural and historical resources on the site will be prepared prior to submittal of a development plan for each of the tracts. As part of Master Plan Approval and prior to final design, the South Carolina Department of Archives and History will be contacted by the Owner to request a review of the Department's cultural resource inventory database. The Owner will follow the direction and procedures of the Department of Archives and History as appropriate and if necessary, will address all cultural resource issues with the State Historic Preservation Office. A final determination will be provided as part of Master Plan Approval.

F. WATER AND SEWER SERVICE

Water and sewer service will be provided to Pine Street by Lowcountry Regional Water System (LRWS). Detailed planning for the water and sewer systems will commence at the time of PUD approval by Town of Yemassee. The Owner will coordinate Water and Sewer service with YW&S. YW&S will operate and maintain the water and sewer systems within their service area upon completion by the developer and acceptance by the Authority.

G. UTILITY SERVICE

Pine Street is within the service territory of Dominion Energy for electrical power. The Owner will coordinate with Dominion Energy regarding planning for the PUD.

Palmetto Rural Telephone Cooperative is able to provide telephone service to Pine Street. The Owner will coordinate with Palmetto Rural Telephone Cooperative regarding planning for the PUD.

Other utility services may be provided by legally established entities at the discretion of the Owner, provided such are in accordance with applicable franchising ordinances and licensing requirements of Town of Yemassee. See appendix J for Utility intent to serve letters.

H. ROADWAYS AND TRAFFIC

Pine Street has frontage on SC Highway 17/21 to the south and access to Jinks Road to the north. Establishing safe and reasonable ingress and egress for the property is a priority for the Owner, South Carolina Department of Transportation (SCDOT), and Town of Yemassee. Full access shall be defined as access which allows any and all possible vehicular traffic movements into and out of the development. Limited access shall be defined as access which limits the movement of traffic into and out of a development (i.e., right-in, right-out). Any proposed roadway improvements shall be subject to approval by Town of Yemassee and, where appropriate, the SCDOT.

The Master Plan provides locations for potential internal access points for future interconnectivity.

As part of the access management plan for the project, the Owner will work with SCDOT and Town of Yemassee to obtain two access points from Highway 17/21: one access off Pine Street and one possible access point off Lacey Street. All proposed access points will be consistent with the Town of Yemassee and SCDOT Highway Management Access Plans and design criteria. These accesses may be relocated to accommodate traffic patterns, site specific characteristics and adjacent land uses as part of the access management plan.

Roads indicated on the Master Plan are subject to modification at the time of Development Plan approval based upon specific soil conditions, environmental concerns, physical constraints and design parameters.

The access point locations described above and shown on the Master Plan are preliminary and may be relocated during final development plans. Planning, design and construction of these accesses as well as all roadways and transportation elements shall be in accordance with SCDOT standards, Town of Yemassee Ordinances, PUD standards, or other engineering standards reasonably acceptable to the County engineer. Typical roadway sections will be submitted for review at the Development Plan approval stage.

Potential access across the jurisdictional wetlands surrounding adjacent tracts may be allowed if approved by OCRM and the USACE. Road linkages to adjacent properties may include impacts to jurisdictional wetlands.

Notwithstanding other provisions of this document and subject to approval by Town of Yemassee, roadway design standards may be modified to reduce environmental impacts and increase tree preservation provided safety concerns are not compromised. Protection and preservation of significant trees will be encouraged. Reductions of

roadway and right-of-way widths may not occur unless specifically authorized by the County.

I. PARKING

The total number of required parking spaces for all land uses allowed herein shall conform to the Town of Yemassee ZO in effect at the time of Final Adoption of the Pine Street PUD. Modulation of those standards may be allowed provided the applicant furnishes actual documentation that the new proposed standard meets the parking needs of the proposed land use and the Town agrees at Master Plan approval.

J. STORMWATER MANAGEMENT

Pine Street PUD shall conform to the Town of Yemassee ZO and Stormwater Management Ordinance in effect at the time of Master Plan approval for the Pine Street PUD as well as all other applicable state and federal requirements. Sufficient stormwater best management practices will be employed in the development of the PUD to ensure runoff leaving the site does not degrade water quality within surrounding wetlands and the receiving waterways.

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SECTION II – LAND USE

A. INTRODUCTION AND NARRATIVE

The Pine Street PUD has a total area of 104.45 acres, including 65.92 acres of non-jurisdictional freshwater wetlands, as indicated on the Master Plan.

The Master Plan consists of the following land use areas:

List types of proposed uses:

Approximately 11.48 upland acres are intended for Light Industrial use, approximately 46.51 upland acres are intended for residential uses and 46.31 upland acres are intended for wetland preservation, community open space use and stormwater management.

The Light Industrial includes warehouse / production space and future expansion space. (Including Manufacture light gauge steel framing products including steel studs for residential and commercial buildings).

Of the residential units, initial plans include single family homes.

The land use areas indicated on the Master Plan are not intended to be rigid exact boundary lines for future land use and improvements. The Master Plan for the Pine Street PUD shall maintain flexibility to accommodate specific soil conditions, environmental conditions, pedestrian friendly requirements, physical constraints, market conditions and design parameters and as such, the exact location of boundary lines between land uses and their subsequent location and size indicated within the planning area shall be subject to change at the time Development Permit Plan(s) are submitted for development; provided, however, that maximum densities and other conditions of this PUD between the Owner and Town of Yemassee, South Carolina, will be strictly adhered to, unless adjustment is requested by the Owner and approved by the Town of Yemassee. The boundaries of the PUD may be modified to include adjacent acreage subject to the approval of Town of Yemassee by appropriate petition/application to the County to amend the PUD.

B. ALLOWED LAND USES

The following land uses shall be permitted in the Pine Street PUD. The purpose of this portion of the PUD document is to state which land uses shall be allowed within the Pine Street PUD; however, by allowing these uses this does not obligate the developer to provide the uses or facilities stated herein.

The following land uses and definitions shall be permitted in the Pine Street PUD:

List types of proposed uses:

Tract 1 : Light Industrial (+/-11.48 acres)

Tract 2-3: SFR ¼ Acre District (+/-46.5 acres)

Tract 4: Wetland Preservation (+/- 46.31 acres)

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Any easement that occurs within the property shall have the same land uses as any of the adjacent land uses. Any restrictions shall be based on the legal definition of the easement.

Design Regulations and Performance Standards will be established for each area at the time of the Master Plan approval. Unless otherwise agreed at Master Plan approval or in this PUD, the standard for uses and design criteria from the Town of Yemassee ZO will apply.

C. ALLOWED DENSITY

Of the approximately 104.45 upland acres, the Master Plan for the Pine Street PUD consists of approximately 11.48 acres of Light Industrial and approximately 46.5 acres of Residential uses. The Master Plan may be modified at Master Plan approval, taking into consideration the potential need to change the exact locations of the proposed use(s) in order to address traffic considerations and in response to market conditions.

The overall Commercial use density within Tract 1 for the PUD shall not exceed total build-out cap of 200,000 square feet of light industrial or commercial space.

The Pine Street PUD is planned to include a maximum of 107 residential units, which is based on a unit density of 4 units/upland acre for Parcels 2 and 3. Overall residential density shall include both Attached and Detached Single-Family Residential. Detached guesthouses, "Mother-in-Law" Apartments, and Garage Apartments (for rent or not) on the same lot with a single family unit will be allowed as one structure per lot.

D. DEFINITIONS OF LAND USE TERMS AND DENSITY TERMS

In the absence of a term definition in this Master Plan, the definitions of the Town of Yemassee Zoning Ordinance shall apply in the interpretation of this Master Plan. The definitions below shall generally describe the allowed uses within the PUD.

1. Tract 1 – Light Industrial District (LID)

5.8.1 The purpose of this District is to provide a suitable environment for and enhancing the locational flexibility of uses generally classified as research and development, assembly, high technology production, precision manufacturing, and light industry by excluding heavy manufacturing and permitting only those cleaner industries and operations which tend to be less objectionable to the community; and by requiring high performance standards and

Permitted Uses as outlined in the Town of Yemassee Zoning Ordinance section 5.8.1

2. Tract 2-3 – Single-Family Residential 1/4 Acre [SF]

5.4 Single-Family Residential District 1/4 Acre is designed to provide for, homogeneous residential purposes. The intent of the District is to provide areas primarily for single-family detached dwellings, and to discourage any encroachment by uses which may be incompatible with such residential use.

Permitted Uses as outlined in the Town of Yemassee Zoning Ordinance section 5.4.1

3. Setbacks and Buffers

Setbacks and buffers required by the zoning district shall apply according to the Zoning Ordinance if and when necessary. All other buffers and setbacks shall be maintained as described below:

a. Setbacks and buffer standards within the Pine Street PUD shall include:

1. Minimum buffer strips of ten (10) feet shall be maintained along all external dimensions of a PUD.
2. Buffer strips shall be in addition to the required external setback. In effect there shall be a minimum thirty (30) feet of total setbacks with the required buffer.

3. No development, parking areas, structures, or accessory buildings, except the required fence and vegetation, shall be placed in the buffer area. Buffer strips shall include vegetative cover and be maintained regularly. In addition, no development, parking areas, structures, or accessory buildings shall be placed in the setback areas.

4. The buffer shall include a vegetative screen of evergreen trees and/or shrubs that will reach six (6) feet in height within twelve (12) months of installation and form a contiguous screen within two (2) years of installation.

5. The Town of Yemassee reserves the right, if it finds substantial needs for screening of the proposed PUD activity, to include within the buffer a six (6) foot high fence made of either brick, finished concrete, mortar, wood, stone, masonry units, or a combination of the above. The fence shall be fronted by the required vegetative screen.

6. The frontline of the required side yard buffer shall begin where the private property line and the public right-of-way intersect and extend to the rear lot line. The required vegetative screen and the fence, if required, shall begin twenty (20) feet from where the private property line and the public right-of-way intersect and extend to the rear lot line.

7. Required rear yard buffer strips and the fence, if required, shall extend the entire length of the rear lot line.

8. See HCOD standards 5.17.8B (Town of Yemassee Zoning ordinance) for Buffer Requirements along the Highway 17 corridor.

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4. Signage Control

Signage for the Pine Street PUD shall be governed by the Town of Yemassee ZO in effect at the time of the submission of final development plans or as herein contained.

5. Wetlands

This designation allows the following uses within wetlands. Freshwater wetlands on the property shall be those areas over which the applicable governmental agencies claim jurisdiction for freshwater wetlands. Unless restricted via a future Memorandum of Agreement (MOA) to the contrary, the following are permitted uses:

a. Buffers

- b. Conservation areas
- c. Activities in all wetland areas as permitted by the USACE and OCRM
- d. Disposal of reclaimed water as permitted by SCDHEC
- e. Stormwater management and recreational lakes
- f. Boardwalks, trails, bridges and other permitted structures
- g. Game Management

6. Utilities

This designation allows for utility service to serve the planned tracts of the Pine Street PUD. Utility types and facilities not germane to the development will be subject to review by the Planning Commission as part of the Master Plan review process. The following land uses shall be allowed:

- a. Potable water supply and distribution
- b. Wastewater collection, treatment and disposal
- c. Stormwater collection, treatment and detention
- d. Irrigation
- e. Communication towers (except in residential land use areas)
- f. Satellite antennas
- g. Cable television facilities
- h. Telephone facilities
- i. Power transmission and distribution
- j. Fiber optic lines
- k. Other utility services (i.e., Internet access and other telecommunication uses)

Certain community-wide infrastructure is required for the development of any large, master-planned community. This infrastructure may include, but is not limited to the following:

- a. Arterial streets and primary access roads
- b. Water supply
- c. Wastewater treatment and effluent disposal
- d. Power substations
- e. Central telephone facilities
- f. Stormwater management lagoons
- g. Natural gas supply

In the case of this Master Plan, the community-wide infrastructure may serve more than one planning tract. Infrastructure serving the community (on-site and off-site) will be approved as part of the Master Plan approval process. Infrastructure projects must receive a Town of Yemassee Development Permit prior to construction.

SECTION III – CHANGES AND EXEMPTIONS

The Planned Unit Development constitute a request for a waiver from the current Town of Yemessee Zoning Ordinance where differences occur. However, activities in the PUD shall conform to all other Town of Yemessee Ordinances and Regulations where differences do not occur. The PUD may introduce land uses that do not exist in the current Zoning Ordinance. Based on the PUD, Pine Street requests deviations from the Zoning Ordinance.

The provisions of the PUD shall apply to development in the Pine Street PUD. In the event of a conflict, the hierarchy of documents is the following: 1) PUD; 2) Town of Yemessee Zoning Ordinance in effect at the time of Final Adoption of the Pine Street PUD.

The following clarifications or modifications to otherwise applicable standards of the Yemessee Zoning Ordinance are hereby made applicable to the Pine Street PUD:

Modification 1:

Section 5.8

Light Industrial District [LID]

A. All permitted and conditional uses in the Regional Commercial District subject to the same conditions apply in the District;

Add

20. Manufacture light gauge steel framing products including steel studs for residential and commercial buildings.

Modification 2:

5.8.5 General Requirements.

A. Minimum lot size is ~~twenty five (25)~~ **ten (10)** acres.

C. Industrial uses shall be setback a minimum of ~~fifty (50)~~ **twenty five (25)** feet from any commercial use; ~~one hundred (100)~~ **seventy five (75)** feet from a major thoroughfare; and fifty (50) feet from another industrial use.

Modification 3:

Section 5.4 Single-Family Residential 1/4 Acre [SF]

5.4.1 Standards for the SF District

Maximum density: ~~Three~~ Four (4) dwelling units per acre.

Minimum lot size: ~~10,890~~ **6000** square feet per dwelling unit.

Minimum front yard setback: ~~Fifteen (15)~~ **Ten (10)** feet from the street right-of-way line.

Minimum side yard setbacks: ~~Ten (10)~~ **Five (5)** feet from lot lines.

Modification 4:

Section 5.17 Highway Corridor Overlay District [HCOD]

5.17.5 A minimum distance of ~~one thousand five hundred (1,500)~~ **four hundred (400) feet** shall be maintained between all access points onto the corridor, including private driveways, roads, and public right-of-way. Spacing will be measured from the midpoint of each driveway. If the existence of jurisdictional wetlands precludes compliance with this provision, the Planning Commission shall have discretion as to the placing of an alternative access point; however, no additional curb cuts on the subject parcel should result from having the alternative access point.

5.17.6 D. The minimum lot width at the building setback line for newly created parcels shall be a distance of one hundred fifty (150) feet. Newly created parcels are subject to the ~~one thousand five hundred (1,500)~~ **four hundred (400) foot** distance requirement between access points from the highway.

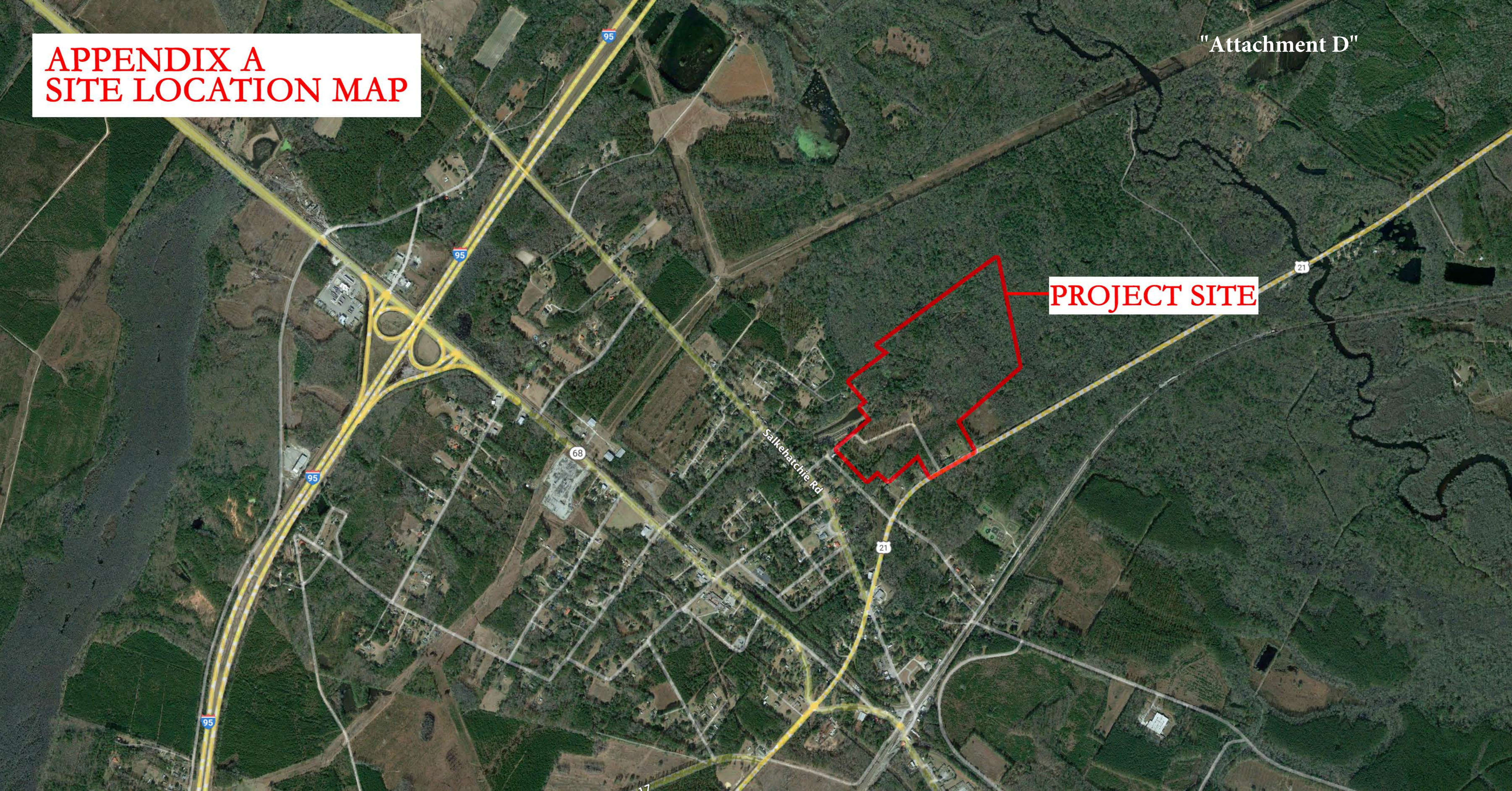
5.17.7 In addition to the existing standards of the Town of Yemassee Zoning Ordinances regarding subdivisions, the following requirements pertain to the HCOD:

- A. Newly created subdivisions are subject to the ~~one thousand five hundred (1,500)~~ **four hundred (400) foot** distance requirement between access points from the highway;
- B. No subdivision of land which would create parcels fronting on the highway shall be approved unless it is established prior to subdivision approval how access will be provided to each parcel in compliance with the ~~one thousand five hundred (1,500)~~ **four hundred (400)** distance requirement, (i.e., frontage roads, shared access drives, and others);

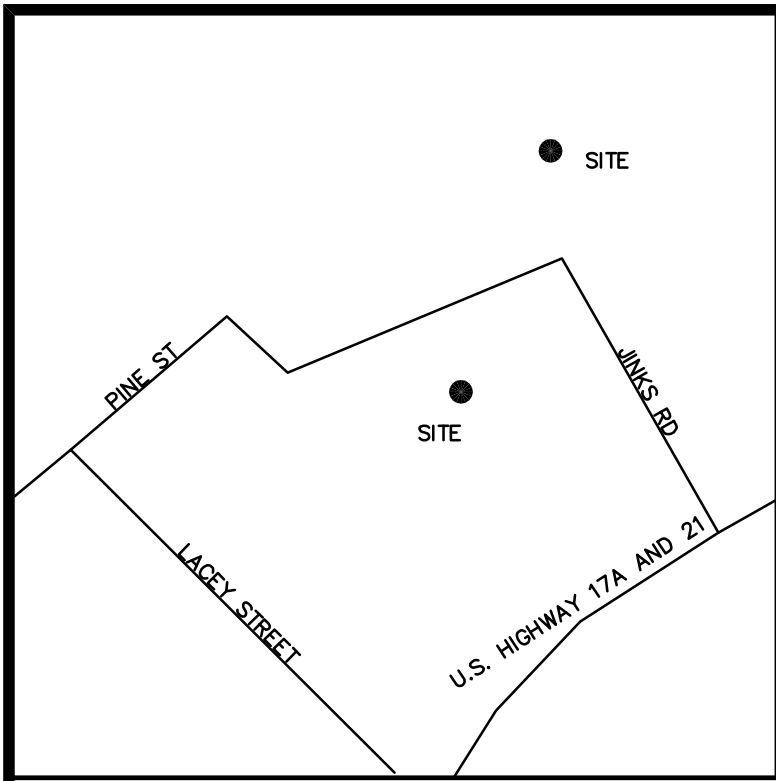
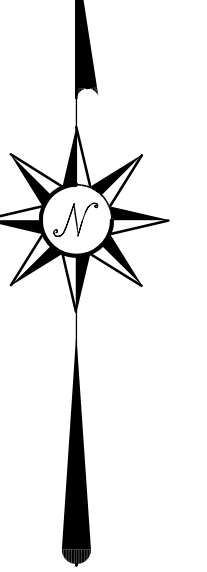
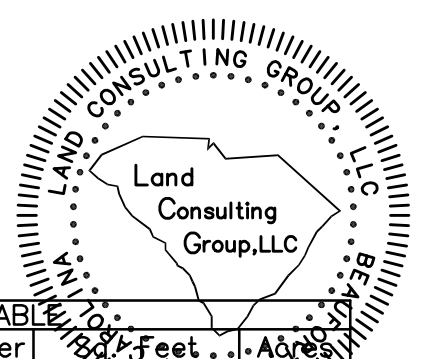
**Draft format for review ; additional clarifications and modifications to be included with final approval documents based on feed back from Planning Commission, Town Council, Town Staff and the Applicant.*

**APPENDIX A
SITE LOCATION MAP**

"Attachment D"



PROJECT SITE



LOCATION MAP

NOTES

THIS PLAT DOES NOT CERTIFY THAT THE INFORMATION SHOWN HEREON COMPLIES WITH LOCAL ZONING REGULATIONS...

THIS PLAT REPRESENTS CONDITIONS FOUND ON 4/1/2022 AND DOES NOT REPRESENT CONDITIONS FOUND ON ANY OTHER DATE.

THIS PLAT WAS SURVEYED BASED ON REFERENCED DOCUMENTS AND WAS NOT SURVEYED IN COORDINATION WITH A TITLE EXAMINATION...

THE AREA CALCULATIONS SHOWN HEREON WERE DETERMINED BY THE COORDINATE METHOD.

THE PRESENCE OR ABSENCE OF REGULATED NATURAL RESOURCES (SUCH AS, BUT NOT LIMITED TO, CRITICAL AREAS, FRESHWATER WETLANDS, SPECIMEN TREES, AND HISTORICALLY SIGNIFICANT SITES AND CULTURAL RESOURCES) WAS NOT DETERMINED AT THIS TIME...

THIS PLAT DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF UNDERGROUND FEATURES, (INCLUDING, BUT NOT LIMITED TO UTILITIES, STORAGE TANKS, AND SIMILAR).

THE VERTICAL DATUM FOR FLOOD ZONE INFORMATION AND TOPOGRAPHY IS NAVD 1988 AND WAS DETERMINED USING THE SC VRS NETWORK.

ZONING AND SETBACKS WERE NOT DETERMINED AT THIS TIME

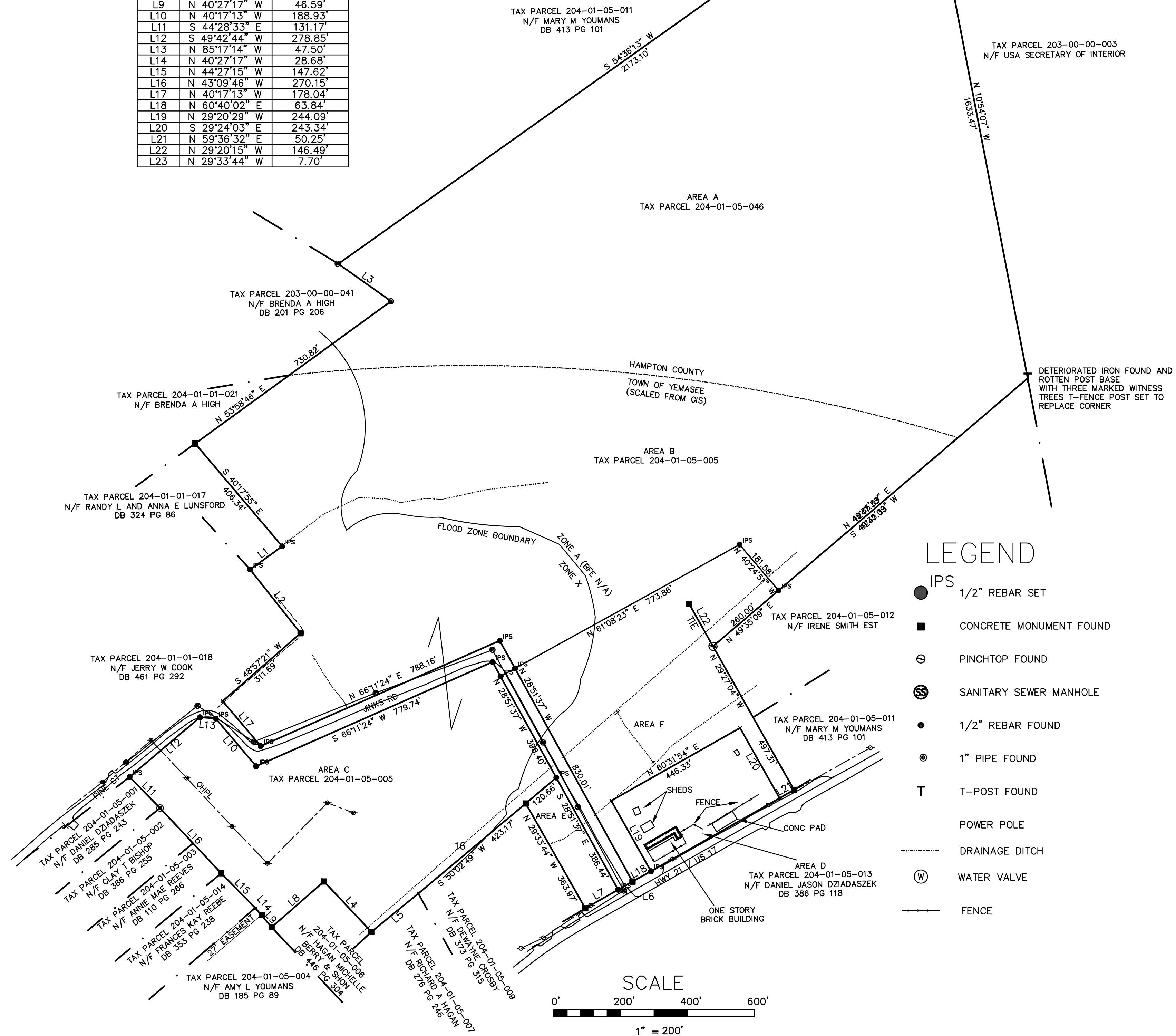
AREA TABLE with columns: Description, Perimeter, Sq. Feet, Acres. Rows include AREA A, B, C, D, and Total.

WETLANDS AREA TABLE with columns: Description, Perimeter, Sq. Feet, Acres. Rows include Ditch A-F, Wetland A-F, and Total.

LINE BEARING DISTANCE table with columns: LINE, BEARING, DISTANCE. Lists lines L1 through L23.

AREA TABLE with columns: AREA TOTAL ACREAGE, SQ. FEET, WETLANDS ACREAGE, DITCH ACREAGE. Rows include A-F and Total.

AREA TABLE with columns: Description, Perimeter, Sq. Feet, Acres. Rows include AREA A, B, C, D, and Total.



LEGEND

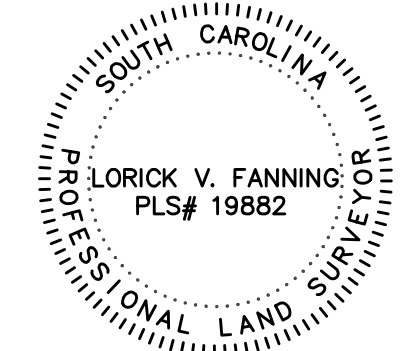
- Legend items: 1/2" REBAR SET, CONCRETE MONUMENT FOUND, PINCHTOP FOUND, SANITARY SEWER MANHOLE, 1/2" REBAR FOUND, 1" PIPE FOUND, T-POST FOUND, POWER POLE, DRAINAGE DITCH, WATER VALVE, FENCE.

FLOOD ZONE DETERMINATION

FLOOD ZONE (BFE): A (BFE=NOT DETERMINED) AND X. COMMUNITY NAME: HAMPTON CO. UN. INCORP./TOWN OF YEMASSEE...

THIS FLOOD ZONE DETERMINATION IS APPROXIMATE AND SHOULD BE VERIFIED BY THE APPROPRIATE BUILDING CODES OFFICE BEFORE ANY DESIGN OR CONSTRUCTION BEGINS.

I HEREBY CERTIFY TO RAMSEY DEVELOPMENT THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA...



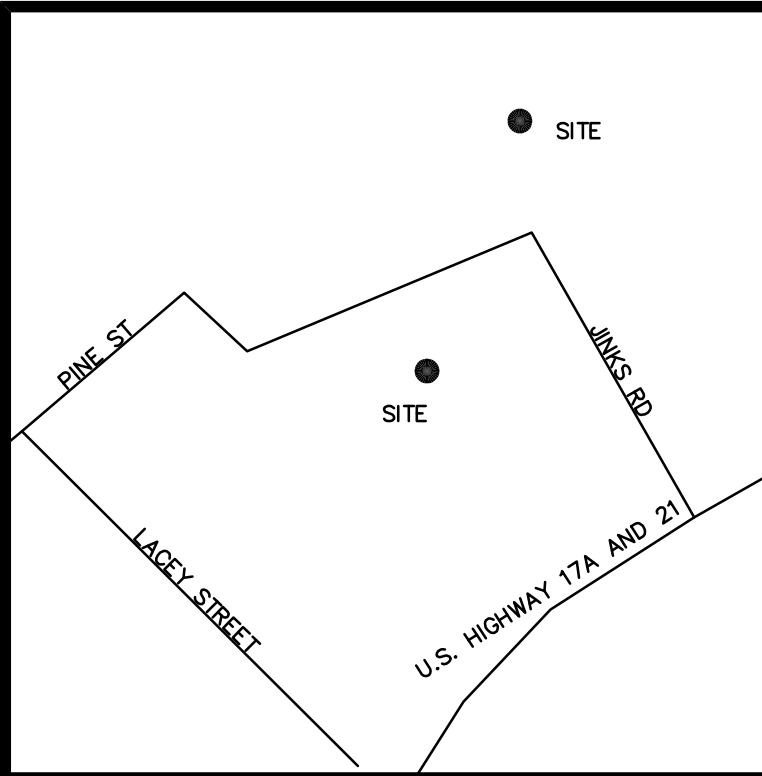
BOUNDARY SURVEY OF CORBETT TRACT TAX PARCELS 204-01-05-005 AND 203-00-00-046 YEMASSEE, HAMPTON COUNTY, SOUTH CAROLINA PREPARED FOR RAMSEY DEVELOPMENT

JOB # 6024

Table with job details: FIELD BOOK, FIELD CREW, DRAFTER, DATE OF FIELDWORK, REFERENCES.

LAND CONSULTING GROUP, LLC POST OFFICE DRAWER 1366 BEAUFORT, SOUTH CAROLINA 29901-1366 (843) 575-5206

"Attachment D"



LOCATION MAP

NOTES

THIS PLAT DOES NOT CERTIFY THAT THE INFORMATION SHOWN HEREON COMPLIES WITH LOCAL ZONING REGULATIONS. THIS PLAT DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF OVERLAY DISTRICTS OR SPECIAL HAZARD AREAS SUCH AS BUT NOT LIMITED TO AIRPORT AND AICUZ ZONES.

THIS PLAT REPRESENTS CONDITIONS FOUND ON 4/1/2022 AND DOES NOT REPRESENT CONDITIONS FOUND ON ANY OTHER DATE.

THIS PLAT WAS SURVEYED BASED ON REFERENCED DOCUMENTS AND WAS NOT SURVEYED IN COORDINATION WITH A TITLE EXAMINATION. THE SURVEYOR DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF EASEMENTS.

THE AREA CALCULATIONS SHOWN HEREON WERE DETERMINED BY THE COORDINATE METHOD.

THE PRESENCE OR ABSENCE OF REGULATED NATURAL RESOURCES (SUCH AS, BUT NOT LIMITED TO, CRITICAL AREAS, FRESHWATER WETLANDS, SPECIMEN TREES, AND HISTORICALLY SIGNIFICANT SITES AND CULTURAL RESOURCES) WAS NOT DETERMINED AT THIS TIME OTHER THAN THOSE SHOWN HEREON AND ACCOMPANIED BY THE CERTIFICATION OR APPROVAL OF APPROPRIATE REGULATORY AGENCY.

THIS PLAT DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF UNDERGROUND FEATURES, (INCLUDING, BUT NOT LIMITED TO UTILITIES, STORAGE TANKS, AND SIMILAR).

THE VERTICAL DATUM FOR FLOOD ZONE INFORMATION AND TOPOGRAPHY IS NAVD 1988 AND WAS DETERMINED USING THE SC VRS NETWORK.

ZONING AND SETBACKS WERE NOT DETERMINED AT THIS TIME

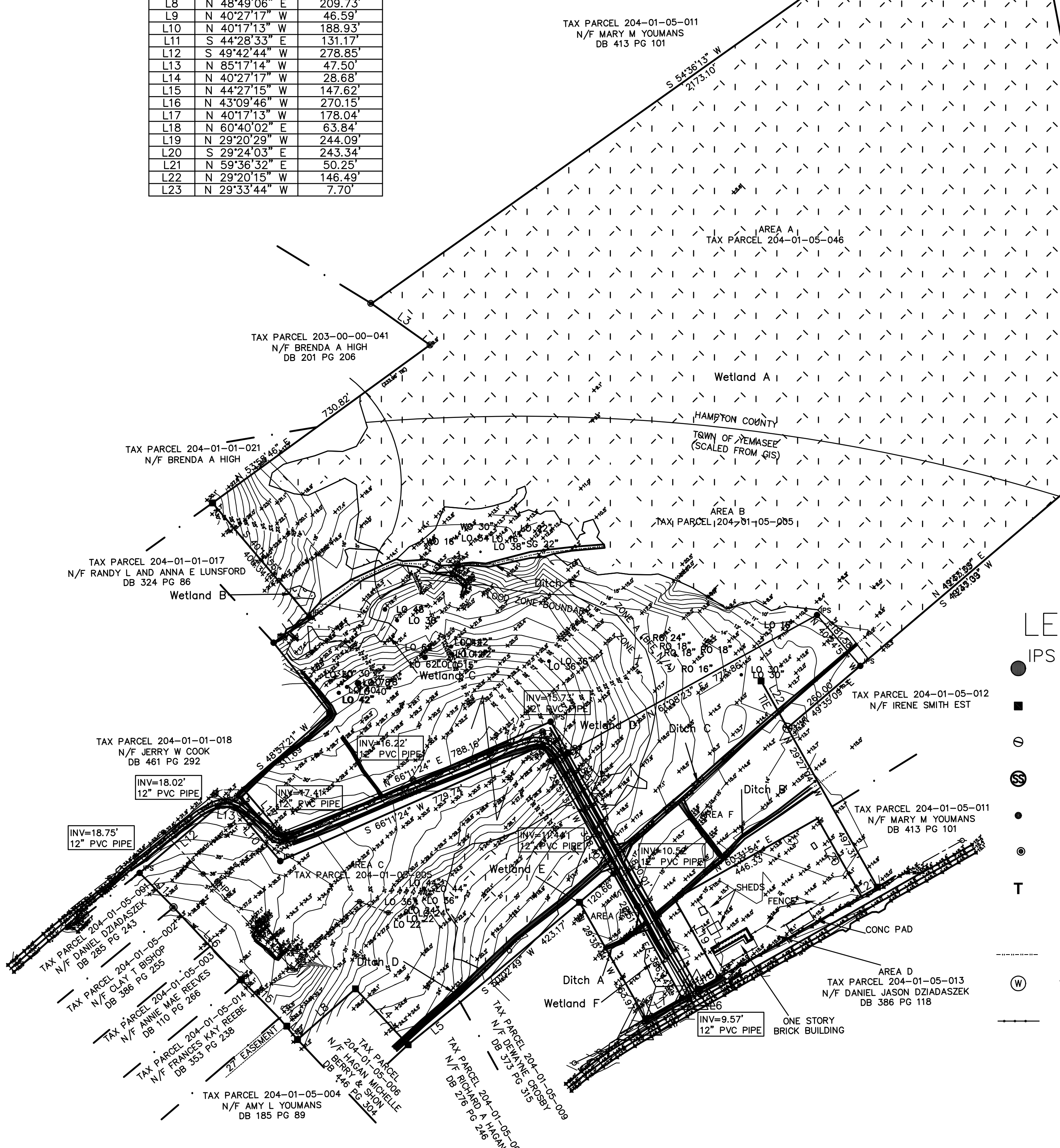
Description	Perimeter	Sq. Feet	Acres
AREA A	6,698.26	2,017,285.51	46.31
AREA B	7,818.71	1,824,771.31	41.89
AREA C	4,206.48	596,822.44	13.70
AREA D	1,380.30	108,808.70	2.50
Total		4,547,687.95	104.40

Description	Perimeter	Sq. Feet	Acres
Ditch A	294.59	1,352.19	0.03
Ditch B	1,186.4	7,907	0.18
Ditch C	1,682.5	9,786	0.22
Ditch D	1,499.7	11,460.52	0.26
Ditch E	2,034.71	13,461.15	0.31
Wetland A	8,468.70	2,717,817.99	62.39
Wetland B	172.52	1,661.23	0.04
Wetland C	1,241.41	33,650.55	0.77
Wetland D	433.22	8,261.57	0.19
Wetland E	1,362.85	105,202.51	2.42
Wetland F	295.51	4,680.65	0.11
Total		2,916,081.36	66.92

LINE	BEARING	DISTANCE
L1	S 54°02'11" W	119.41'
L2	N 38°18'44" W	245.26'
L3	S 54°42'38" E	194.73'
L4	N 43°12'39" W	208.73'
L5	S 50°45'40" W	183.01'
L6	S 60°26'56" W	50.00'
L7	S 60°26'56" W	113.82'
L8	N 48°49'06" E	209.73'
L9	N 40°27'17" W	46.59'
L10	N 40°17'13" W	188.93'
L11	S 44°28'33" E	131.17'
L12	S 49°42'44" W	278.85'
L13	N 85°17'14" W	47.50'
L14	N 40°27'17" W	28.68'
L15	N 44°27'15" W	147.62'
L16	N 43°09'46" W	270.15'
L17	N 40°17'13" W	178.04'
L18	N 60°40'02" E	63.84'
L19	N 29°20'29" W	244.09'
L20	S 29°24'03" E	243.34'
L21	N 59°36'32" E	50.25'
L22	N 29°20'15" W	146.49'
L23	N 29°33'44" W	7.70'

AREA	TOTAL ACREAGE	SQ. FEET	WETLANDS ACREAGE	DITCH ACREAGE
A	46.31	2,017,286	46.20	0.00
B	33.96	1,479,297	17.00	0.31
C	12.70	553,115	2.42	0.27
D	2.50	108,809	0.00	0.00
E	1.00	43,567	0.11	0.03
F	7.98	347,487	0.19	0.42

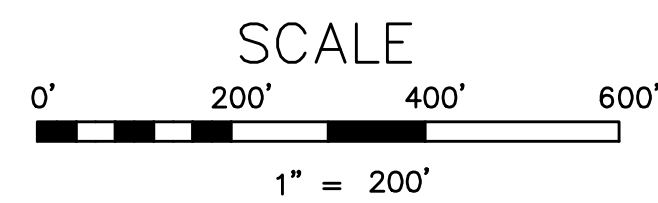
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AREA D	1,380.30	108,808.70	2.50
Total		4,547,687.95	104.40



LEGEND

- IPS 1/2" REBAR SET
- CONCRETE MONUMENT FOUND
- ⊕ PINCHTOP FOUND
- ⊗ SANITARY SEWER MANHOLE
- 1/2" REBAR FOUND
- ⊙ 1" PIPE FOUND
- T T-POST FOUND
- POWER POLE
- - - DRAINAGE DITCH
- ⊙ WATER VALVE
- FENCE

TREE LEGEND		
DESCRIPTION	COMMONNAME	SCIENTIFICNAME
BG	BLACK GUM	<i>Nyssa sylvatica</i>
CE	RED CEDAR	<i>Juniperus virginiana</i>
CH	CHERRY	<i>Prunus spp</i>
DW	DOGWOOD	<i>Cornus florida</i>
GUM	SWEETGUM	<i>Liquidambar styraciflua</i>
HI	HICKORY	<i>Carya spp</i>
LO	LIVEOAK	<i>Quercus virginiana</i>
MA	MAPLE	<i>Acer spp</i>
MAG	MAGNOLIA	<i>Magnolia grandiflora</i>
MYRT	WAXMYRTLE	<i>Myrica cerifera</i>
O	OAK	<i>Quercus spp</i>
PA	PALMETTO	<i>Sabal palmetto</i>
PE	PECAN	<i>Carya illinoensis</i>
PN	PINE	<i>Pinus spp</i>
SUG	SUGARBERRY	<i>Nyssa sylvatica</i>
TA	TALLOW TREE	<i>Triadica Loureiro</i>

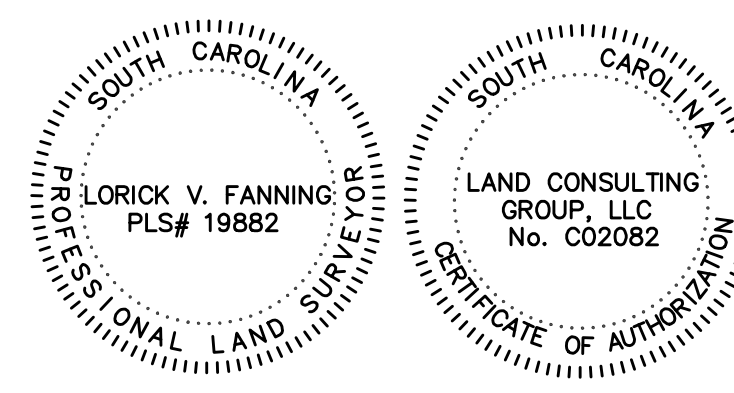


FLOOD ZONE DETERMINATION

FLOOD ZONE (BFE): A (BFE=NOT DETERMINED) AND X
 COMMUNITY NAME: HAMPTON CO. UN INCORP./TOWN OF YEMASSEE
 COMMUNITY #: 450095 / 450103
 MAP #: 4504800450C
 PANEL #: 450 OF 550
 PANEL DATE: SEPTEMBER 29, 2010
 INDEX DATE: SEPTEMBER 29, 2010

THIS FLOOD ZONE DETERMINATION IS APPROXIMATE AND SHOULD BE VERIFIED BY THE APPROPRIATE BUILDING CODES OFFICE BEFORE ANY DESIGN OR CONSTRUCTION BEGINS.

NOT FOR RECORDING



LIMITED TREE AND TOPOGRAPHIC SURVEY OF
 CORBETT TRACT
 TAX PARCELS 204-01-05-005 AND 203-00-00-046
 YEMASSEE, HAMPTON COUNTY, SOUTH CAROLINA
 PREPARED FOR RAMSEY DEVELOPMENT

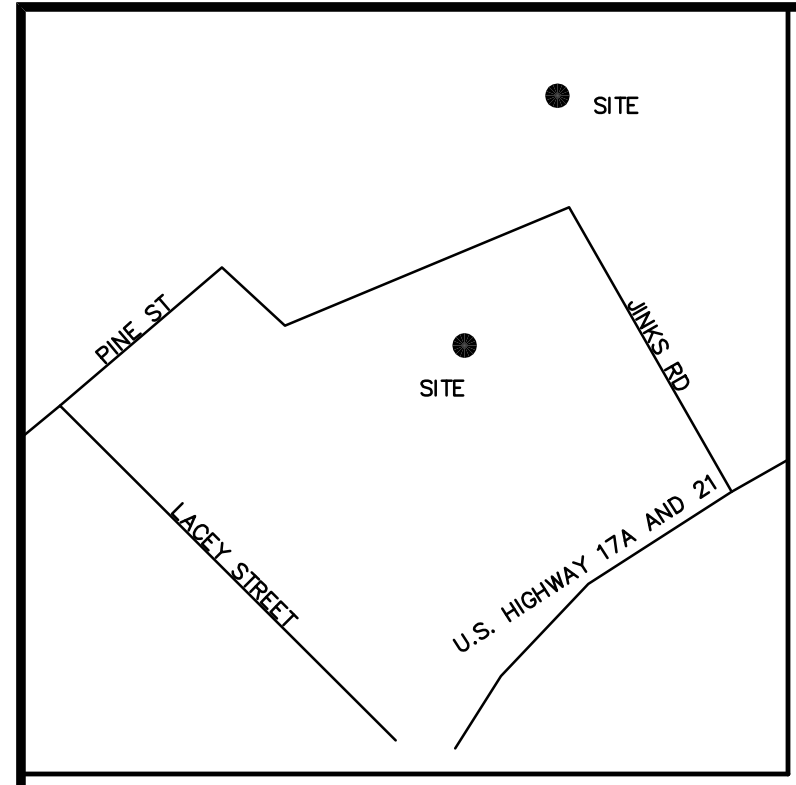
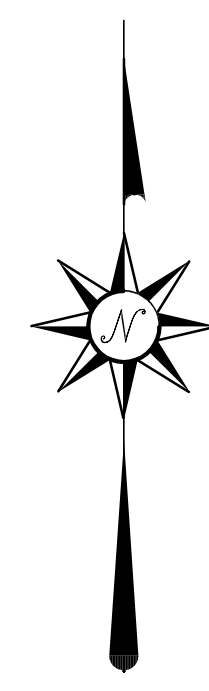
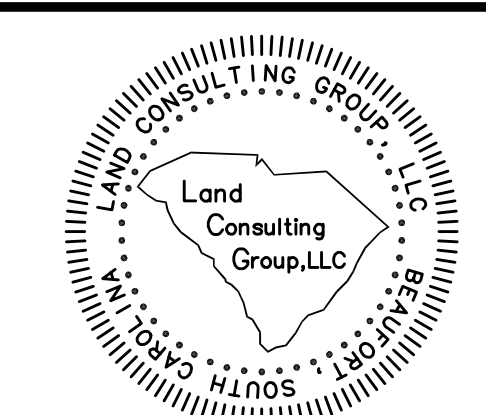
JOB # 6024

FIELD BOOK: ELECTRONIC
 FIELD CREW: LF/PW
 DRAFTER: LF/PW
 DATE OF FIELDWORK: 04/01/2022

REFERENCES
 PB 21 PG 417 PB 3 PG 127 DB 484 PG 261
 PB 32 PG 4 PB 14 PG 64
 PB 5 PG 96 PB 3 PG 157

LAND CONSULTING GROUP, LLC
 POST OFFICE DRAWER 1366
 BEAUFORT, SOUTH CAROLINA 29901-1366
 (843) 575-5206

"Attachment D"



LOCATION MAP

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WETLANDS AREA TABLE			
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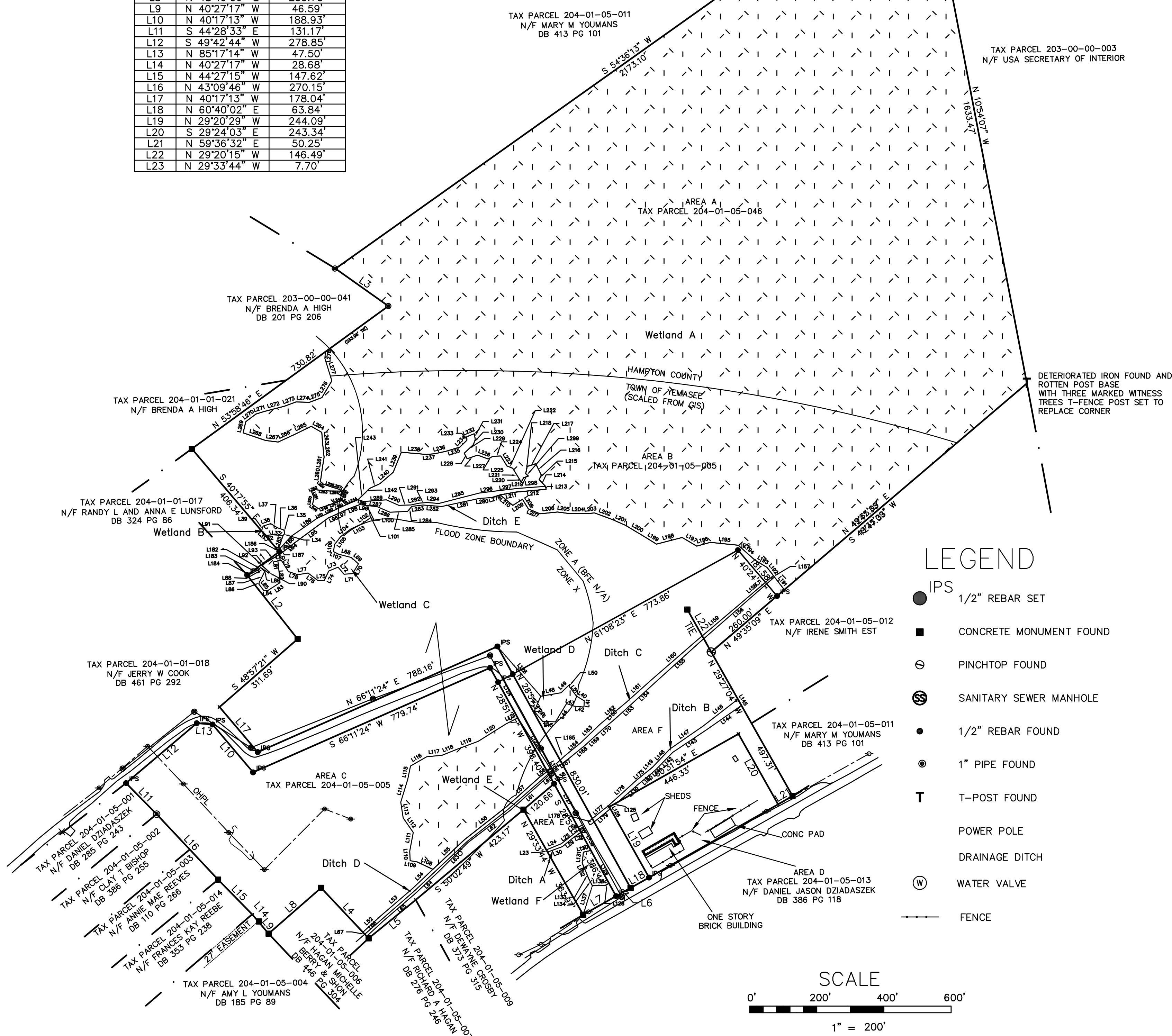
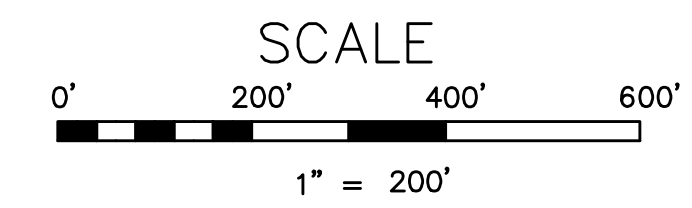
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Total		4,547,687.95	104.40

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L24	N 67°42'26" E	48.34'	L121	N 62°44'02" E	39.83'
L25	N 54°21'03" E	48.16'	L122	S 28°51'37" E	173.30'
L26	N 51°56'55" E	37.48'	L123	N 41°01'08" W	198.85'
L27	S 24°45'48" E	10.12'	L124	N 28°51'37" W	172.06'
L28	S 54°10'28" W	43.47'	L125	N 60°31'54" E	31.30'
L29	S 53°39'09" W	41.93'	L126	N 29°20'29" W	6.54'
L30	S 69°33'31" W	47.29'	L127	S 28°51'37" E	152.55'
L31	S 45°28'11" E	20.60'	L128	N 57°43'22" E	13.98'
L32	N 80°47'05" E	16.25'	L129	N 28°51'37" W	112.46'
L33	S 85°54'34" E	33.94'	L130	S 77°06'49" W	23.30'
L34	N 35°39'44" E	8.66'	L131	S 06°19'37" W	32.81'
L35	N 16°42'56" W	10.01'	L132	S 23°43'28" E	31.29'
L36	N 71°04'53" W	20.57'	L133	S 20°12'57" E	16.72'
L37	N 58°10'23" W	23.55'	L134	S 27°21'57" E	26.91'
L38	S 72°04'53" W	24.22'	L135	N 89°48'01" E	38.14'
L39	S 17°29'54" W	14.53'	L136	N 28°51'37" W	51.89'
L40	S 59°00'43" E	27.91'	L137	S 17°30'58" W	91.85'
L41	S 03°43'59" W	18.54'	L138	S 55°06'41" W	50.28'
L42	N 85°21'48" W	28.81'	L139	N 48°40'20" E	77.22'
L43	N 71°24'10" W	24.80'	L140	N 51°01'32" E	49.92'
L44	S 31°17'53" W	64.38'	L141	N 48°42'14" E	22.63'
L45	N 87°55'49" W	38.43'	L142	N 44°09'09" E	71.27'
L46	N 39°46'17" W	39.56'	L143	N 56°18'05" E	123.64'
L47	N 23°22'06" E	49.29'	L144	N 55°02'21" E	127.02'
L48	N 80°03'53" E	62.15'	L145	N 29°27'04" W	21.90'
L49	N 45°48'46" E	36.64'	L146	S 52°09'46" W	132.15'
L50	S 09°47'09" W	7.63'	L147	S 55°24'42" W	121.99'
L51	S 36°37'00" E	35.07'	L148	S 43°33'57" W	74.50'
L52	N 47°26'29" E	71.33'	L149	N 49°52'22" E	10.51'
L53	N 49°20'42" E	124.90'	L150	N 48°23'00" E	19.15'
L54	N 46°45'02" E	87.15'	L151	N 48°05'39" E	45.23'
L55	N 46°54'03" E	131.98'	L152	N 47°33'09" E	109.69'
L56	N 51°53'20" E	158.18'	L153	N 47°54'31" E	177.29'
L57	N 49°11'48" E	134.60'	L154	N 48°53'08" E	299.37'
L58	N 52°35'15" E	44.45'	L155	N 37°44'23" W	5.32'
L59	S 26°15'28" E	10.24'	L156	S 49°34'21" W	147.54'
L60	S 44°58'35" W	44.45'	L157	S 49°55'40" W	154.36'
L61	S 49°15'06" W	129.16'	L158	S 49°01'31" W	180.73'
L62	S 52°43'21" W	160.08'	L159	N 48°11'40" W	104.12'
L63	S 51°15'56" W	125.22'	L160	S 50°08'54" E	100.36'
L64	S 46°36'31" W	96.13'	L161	S 46°03'39" W	81.49'
L65	S 49°23'09" W	123.17'	L162	S 48°47'37" W	57.76'
L66	S 47°28'45" W	71.50'	L163	S 46°54'27" W	23.59'
L67	N 43°12'39" W	16.72'	L164	S 29°57'09" E	10.47'
L68	S 75°42'22" E	39.79'	L165	N 52°46'00" E	42.70'
L69	S 47°42'55" E	28.12'	L166	N 48°31'33" E	54.35'
L70	S 30°00'38" W	34.07'	L167	N 47°53'14" E	75.10'
L71	S 58°30'03" W	26.16'	L168	S 50°09'57" E	38.95'
L72	N 40°10'52" W	28.21'	L169	S 51°07'51" W	52.42'
L73	S 67°06'10" W	30.17'	L170	S 47°43'47" W	114.58'
L74	S 25°46'25" W	31.86'	L171	S 49°42'14" W	67.40'
L75	S 89°35'21" W	18.54'	L172	S 24°44'26" E	11.95'
L76	N 52°40'38" W	37.56'	L173	N 49°06'34" E	69.43'
L77	S 80°42'07" W	31.23'	L174	N 64°50'13" W	43.63'
L78	N 71°39'20" W	29.80'	L175	S 66°59'07" W	19.27'
L79	N 32°15'32" W	38.93'	L176	S 41°02'25" W	7.50'
L80	N 84°05'10" W	11.13'	L177	S 60°18'38" W	26.47'
L81	S 05°55'48" E	19.67'	L178	S 68°02'09" W	13.85'
L82	S 05°15'18" E	48.04'	L179	S 18°18'02" W	47.62'
L83	S 57°24'44" W	42.27'	L180	N 40°11'55" W	5.11'
L84	S 83°21'44" W	12.57'	L181	N 42°44'49" E	17.27'
L85	N 37°53'20" W	25.30'	L182	N 42°29'37" E	41.02'
L86	N 17°42'44" E	6.92'	L183	N 55°14'43" E	94.12'
L87	N 26°07'09" E	34.76'	L184	N 65°02'02" E	96.37'
L88	N 44°59'37" W	17.32'	L185	N 37°44'23" W	48.67'
L89	S 55°25'46" E	30.30'	L186	N 37°44'23" W	30.86'
L90	N 28°48'00" E	3.50'	L187	N 58°42'59" W	44.05'
L91	N 48°18'36" W	29.18'	L188	N 48°05'58" W	65.98'
L92	N 43°12'22" E	11.99'	L189	N 84°02'31" W	84.41'
L93	N 59°28'59" E	53.34'	L190	S 74°33'05" W	42.71'
L94	N 51°49'16" E	52.38'	L191	N 59°13'14" W	50.94'
L95	N 53°30'51" E	128.47'	L192	S 75°20'46" W	79.62'
L96	N 67°02'28" E	19.22'	L193	N 58°20'14" W	39.13'
L97	N 64°50'13" E	43.63'	L194	N 59°00'08" W	70.01'
L98	N 69°36'55" E	39.80'	L195	N 65°59'10" W	43.06'
L99	S 83°16'17" E	24.23'	L196	N 69°48'56" W	57.58'
L100	S 15°20'50" E	22.83'	L197	S 83°49'20" W	21.93'
L101	S 05°13'27" E	15.41'	L198	N 89°16'04" W	56.19'
L102	S 55°44'53" W	34.59'	L199	N 82°23'31" W	33.71'
L103	S 65°08'54" W	32.04'	L200	S 83°53'07" W	52.94'
L104	S 53°37'04" W	37.93'	L201	N 67°08'43" W	37.88'
L105	S 37°41'27" W	30.65'	L202	N 31°37'32" W	33.98'
L106	S 08°25'45" W	21.73'	L203	S 57°59'02" W	34.05'
L107	S 63°23'37" E	17.39'	L204	N 50°38'56" W	49.85'
L108	N 64°47'59" W	52.39'	L205	N 80°14'41" E	49.81'
L109	N 80°14'52" W	21.35'	L206	N 84°50'10" E	90.19'
L110	N 02°49'10" W	28.63'	L207	N 13°57'00" W	9.38'
L111	N 10°53'49" E	57.42'	L208	N 43°37'58" W	27.53'
L112	N 34°56'36" W	53.29'	L209	N 24°58'57" E	15.46'
L113	N 08°41'36" W	48.42'	L210	N 26°10'53" W	38.00'
L114	N 17°13'24" W	71.54'	L211	S 72°37'44" W	26.77'
L115	N 11°28'09" E	40.93'			
L116	N 60°11'12" E	56.68'			
L117	N 84°41'06" E	46.26'			
L118	N 68°00'42" E	48.12'			
L119	N 69°25'09" E	68.12'			
L120	N 57°59'53" E	98.97'			

LEGEND

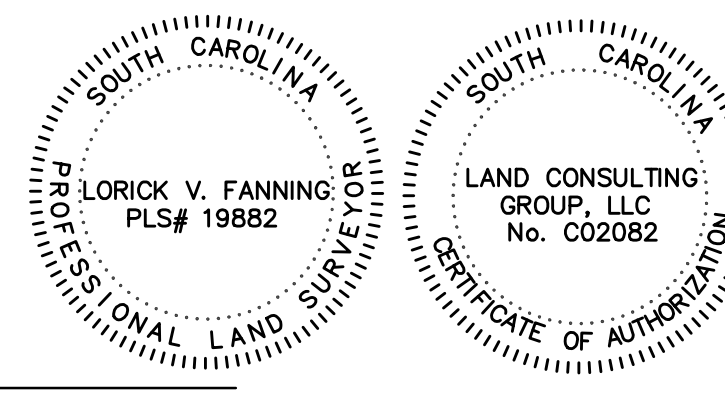
- IPS
- 1/2" REBAR SET
- CONCRETE MONUMENT FOUND
- PINCHTOP FOUND
- ⊗ SANITARY SEWER MANHOLE
- 1/2" REBAR FOUND
- 1" PIPE FOUND
- T T-POST FOUND
- POWER POLE
- DRAINAGE DITCH
- WATER VALVE
- FENCE



FLOOD ZONE DETERMINATION

I HEREBY CERTIFY TO RAMSEY DEVELOPMENT THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "C" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

LORICK V. FANNING, PLS 19882



WETLANDS SURVEY OF
CORBETT TRACT
TAX PARCELS 204-01-05-005 AND 203-00-00-046
YEMASSEE, HAMPTON COUNTY, SOUTH CAROLINA
PREPARED FOR RAMSEY DEVELOPMENT
SHEET 1 OF 2

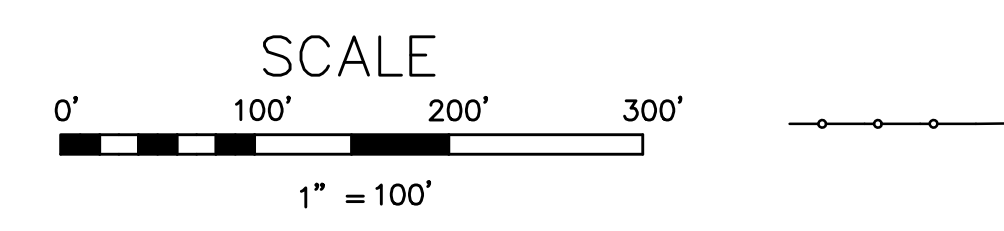
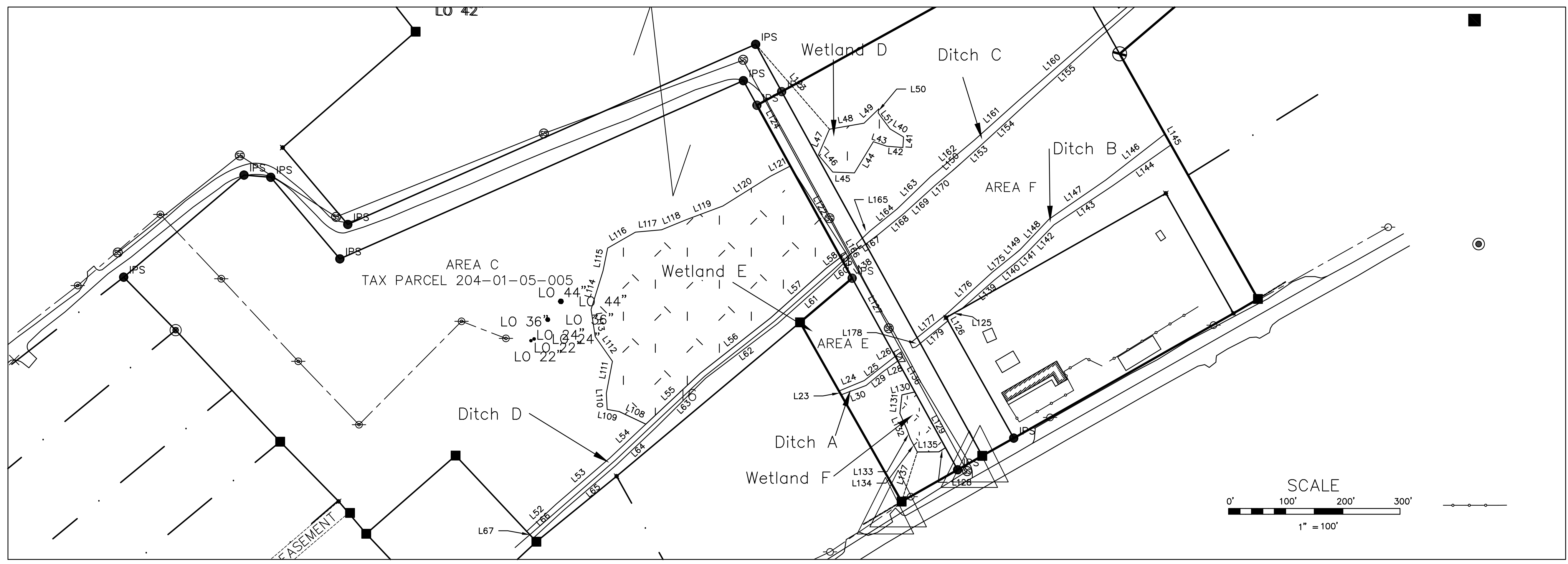
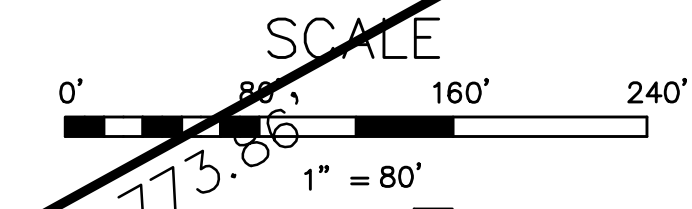
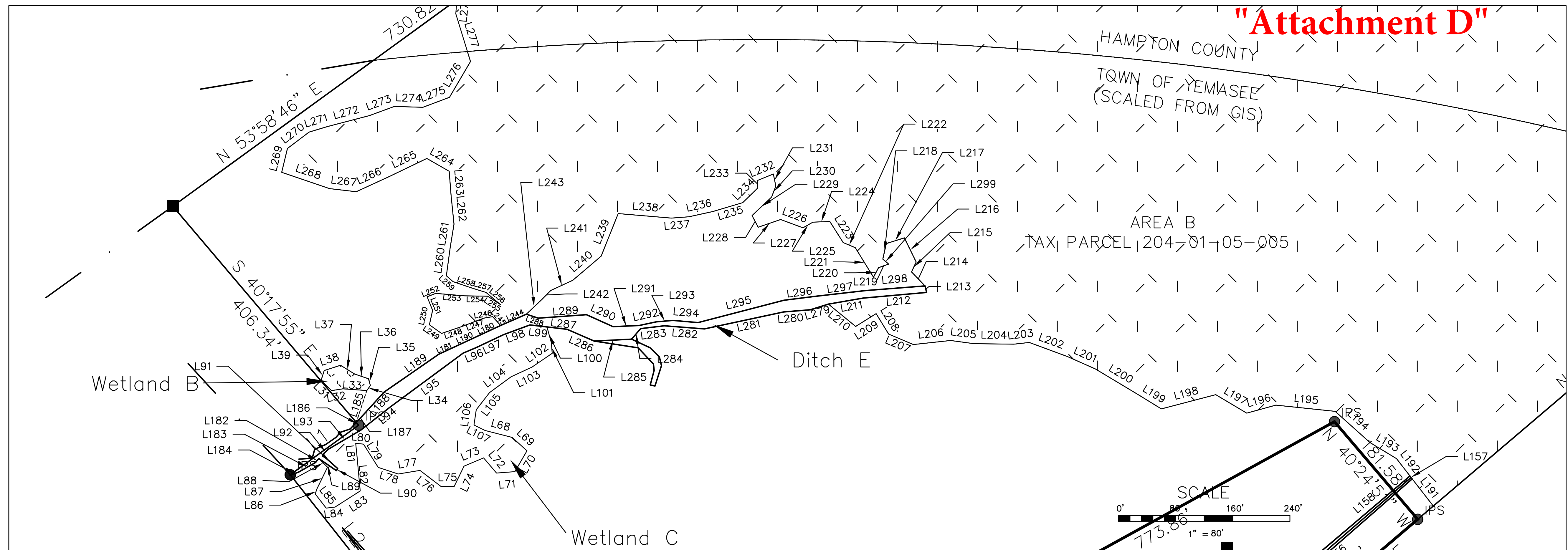
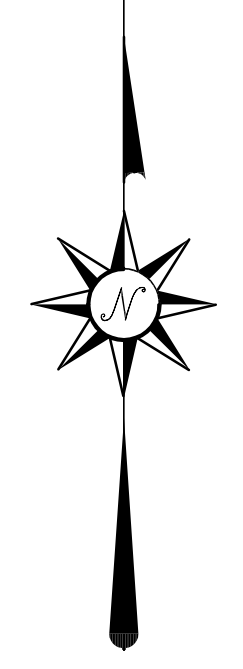
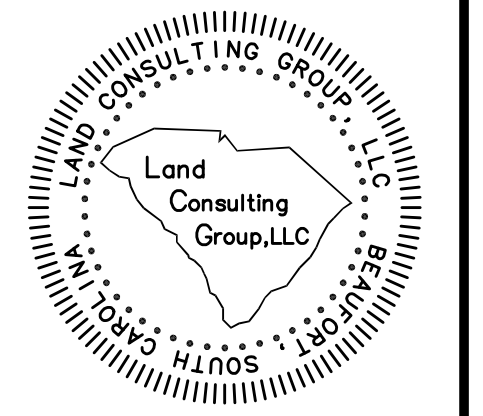
JOB # 6024

FIELD BOOK: ELECTRONIC
FIELD CREW: LE/PW
DRAFTER: LE/PW
DATE OF FIELDWORK: 04/01/2022

REFERENCES
PB 21 PG 417 PB 3 PG 127 DB 484 PG 261
PB 32 PG 4 PB 14 PG 64
PB 5 PG 96 PB 3 PG 157

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BEAUFORT, SOUTH CAROLINA 29901-1366
(843) 575-5206

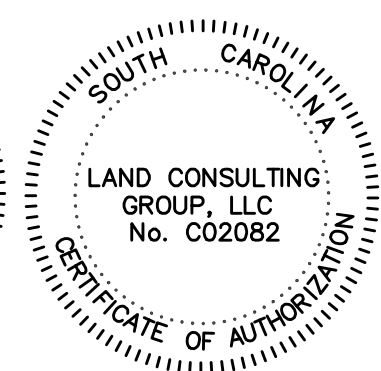
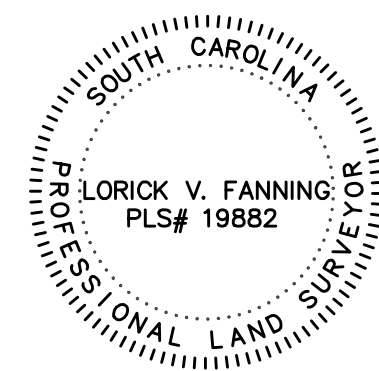
"Attachment D"



FLOOD ZONE DETERMINATION

FLOOD ZONE (BFE): A (BFE=NOT DETERMINED) AND X
 COMMUNITY NAME: HAMPTON CO UN INCORP /TOWN OF YEMASSEE
 COMMUNITY #: 450085 / 450103
 MAP #: 4508C0450C
 PANEL #: 450 OF 550
 PANEL DATE: SEPTEMBER 29, 2010
 INDEX DATE: SEPTEMBER 29, 2010
 THIS FLOOD ZONE DETERMINATION IS APPROXIMATE AND SHOULD BE VERIFIED BY THE APPROPRIATE BUILDING CODES OFFICE BEFORE ANY DESIGN OR CONSTRUCTION BEGINS.

I HEREBY CERTIFY TO RAMSEY DEVELOPMENT THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "V" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.



LORICK V. FANNING, PLS 19882

**WETLANDS SURVEY OF
 CORBETT TRACT
 TAX PARCELS 204-01-05-005 AND 203-00-00-046
 YEMASSEE, HAMPTON COUNTY, SOUTH CAROLINA
 PREPARED FOR RAMSEY DEVELOPMENT
 SHEET 2 OF 2**

JOB # 6024

FIELD BOOK:	ELECTRONIC
FIELD CREW:	LE/PW
DRAFTER:	LE/PW
DATE OF FIELDWORK:	04/01/2022
REFERENCES	
PB 21 PG 417	PB 3 PG 127 DB 484 PG 261
PB 32 PG 4	PB 14 PG 64
PB 5 PG 96	PB 3 PG 157

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United States
Department of
Agriculture

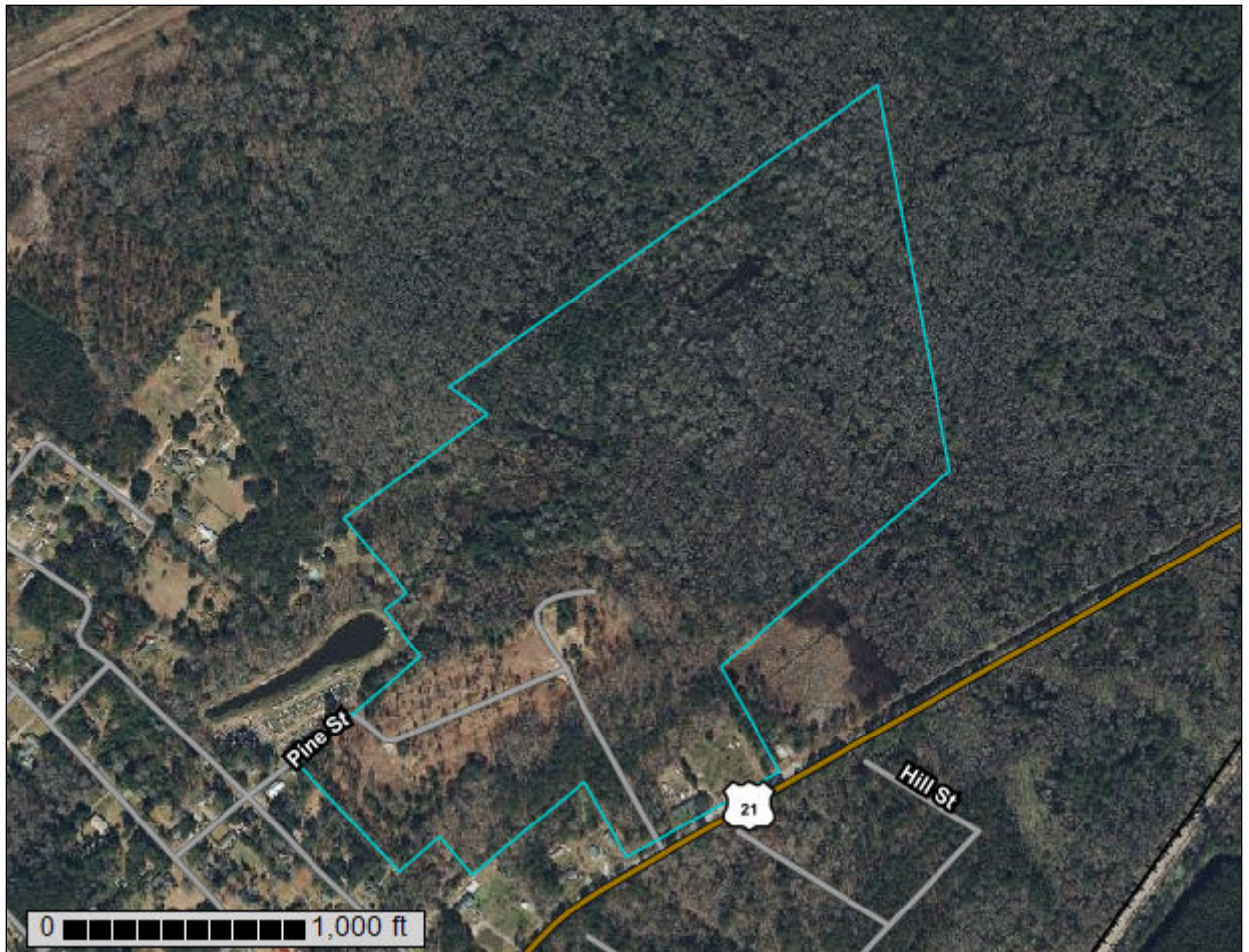
NRCS

Natural
Resources
Conservation
Service

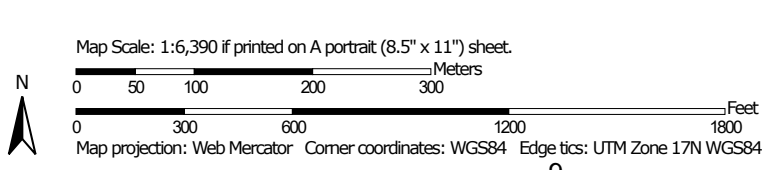
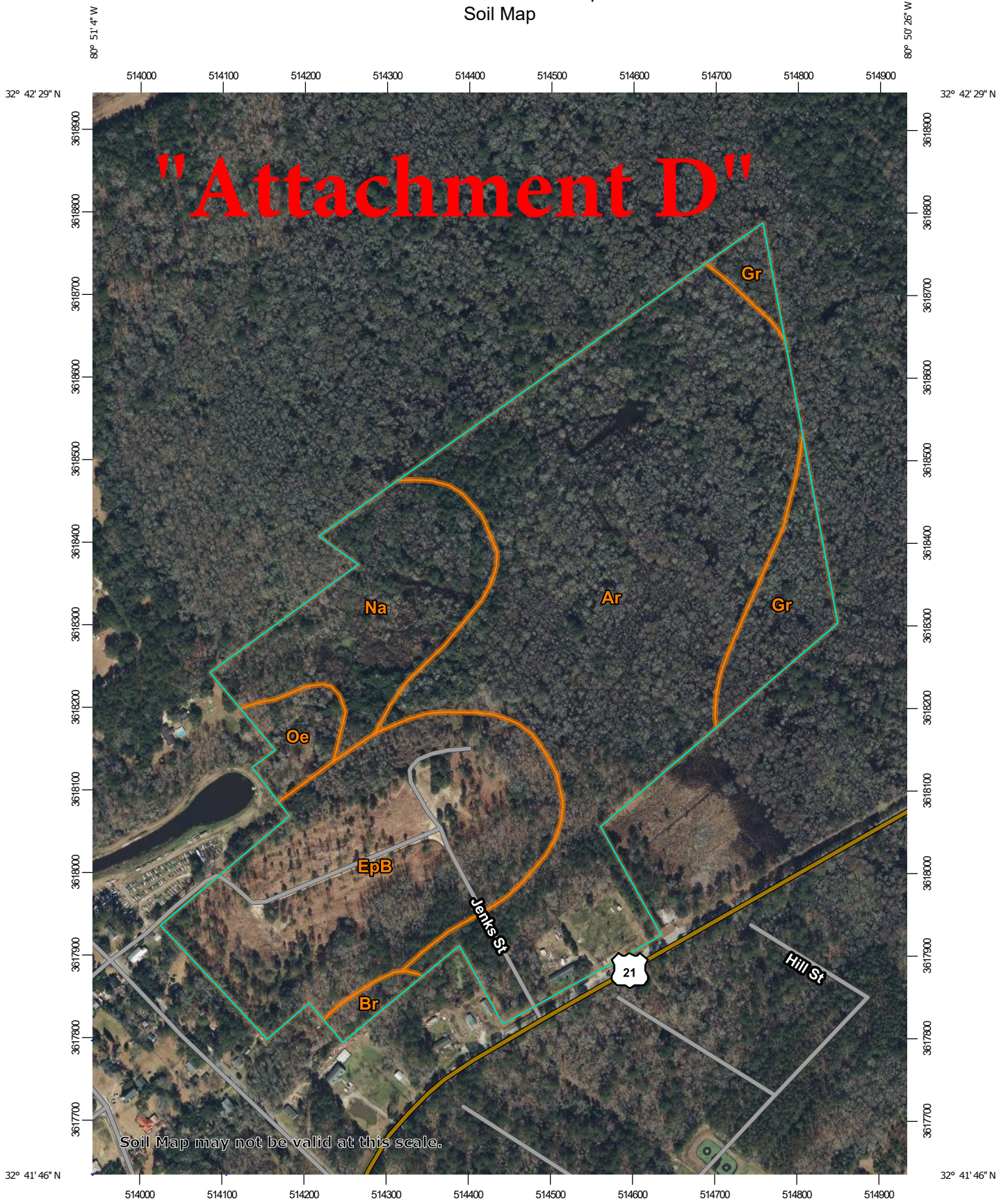
A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Hampton County, South Carolina

"Attachment D"




Custom Soil Resource Report
Soil Map



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)




















Soils







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Hampton County, South Carolina
 Survey Area Data: Version 22, Sep 7, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Feb 21, 2021—Feb 23, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ar	Argent fine sandy loam, ponded	56.5	53.2%
Br	Brookman clay loam, ponded	1.0	0.9%
EpB	Emporia loamy sand, 2 to 6 percent slopes	26.5	24.9%
Gr	Grifton-Osier complex, frequently flooded	6.3	5.9%
Na	Nakina fine sandy loam, occasionally flooded	13.4	12.6%
Oe	Osier loamy sand	2.7	2.5%
Totals for Area of Interest		106.3	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Hampton County, South Carolina

Ar—Argent fine sandy loam, ponded

Map Unit Setting

National map unit symbol: 4cc7

Elevation: 10 to 150 feet

Mean annual precipitation: 50 to 64 inches

Mean annual air temperature: 63 to 68 degrees F

Frost-free period: 220 to 250 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Argent and similar soils: 100 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Argent

Setting

Landform: Depressions, marine terraces

Landform position (three-dimensional): Tread

Down-slope shape: Concave, linear

Across-slope shape: Concave, linear

Parent material: Clayey marine deposits

Typical profile

A - 0 to 5 inches: fine sandy loam

Btg - 5 to 58 inches: clay

BCg - 58 to 65 inches: clay

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Runoff class: Negligible

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)

Depth to water table: About 0 to 12 inches

Frequency of flooding: None

Frequency of ponding: Occasional

Available water supply, 0 to 60 inches: High (about 9.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6w

Hydrologic Soil Group: C/D

Hydric soil rating: Yes

Br—Brookman clay loam, ponded

Map Unit Setting

National map unit symbol: 4ccj
Elevation: 10 to 150 feet
Mean annual precipitation: 50 to 64 inches
Mean annual air temperature: 63 to 68 degrees F
Frost-free period: 220 to 250 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Brookman and similar soils: 100 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Brookman

Setting

Landform: Depressions, marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Parent material: Clayey marine deposits

Typical profile

A - 0 to 4 inches: clay loam
Btg1 - 4 to 11 inches: clay loam
Btg2 - 11 to 44 inches: clay
Btg3 - 44 to 62 inches: clay loam
Cg - 62 to 80 inches: sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Very poorly drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
 (0.57 to 1.98 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: Occasional
Available water supply, 0 to 60 inches: High (about 10.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7w
Hydrologic Soil Group: B/D
Hydric soil rating: Yes

EpB—Emporia loamy sand, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 4cct
Elevation: 10 to 150 feet
Mean annual precipitation: 50 to 64 inches
Mean annual air temperature: 63 to 68 degrees F
Frost-free period: 220 to 250 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Emporia and similar soils: 100 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Emporia

Setting

Landform: Marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 11 inches: loamy sand
Bt1 - 11 to 31 inches: sandy clay loam
Bt2 - 31 to 45 inches: sandy clay loam
BC - 45 to 60 inches: clay loam

Properties and qualities

Slope: 2 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately high (0.00 to 0.57 in/hr)
Depth to water table: About 36 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: C
Hydric soil rating: No

Gr—Grifton-Osier complex, frequently flooded**Map Unit Setting**

National map unit symbol: 4cd0
Elevation: 10 to 150 feet
Mean annual precipitation: 50 to 64 inches
Mean annual air temperature: 63 to 68 degrees F
Frost-free period: 220 to 250 days
Farmland classification: Not prime farmland

Map Unit Composition

Grifton and similar soils: 60 percent
Osier and similar soils: 40 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Grifton**Setting**

Landform: Depressions, marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 6 inches: fine sandy loam
E - 6 to 13 inches: fine sandy loam
Btg - 13 to 48 inches: sandy clay loam
Cg - 48 to 65 inches: loamy sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Runoff class: Very high
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
 (0.57 to 1.98 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: FrequentNone
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 8.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7w
Hydrologic Soil Group: B/D
Hydric soil rating: Yes

Description of Osier**Setting**

Landform: Depressions, marine terraces

Custom Soil Resource Report

Landform position (three-dimensional): Tread
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Parent material: Sandy alluvium

Typical profile

A - 0 to 19 inches: loamy sand
Cg1 - 19 to 35 inches: sand
Cg2 - 35 to 70 inches: coarse sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Runoff class: Very high
Capacity of the most limiting layer to transmit water (Ksat): High to very high (5.95 to 19.98 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: Rare
Frequency of ponding: None
Available water supply, 0 to 60 inches: Low (about 3.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 5w
Hydrologic Soil Group: A/D
Hydric soil rating: Yes

Na—Nakina fine sandy loam, occasionally flooded

Map Unit Setting

National map unit symbol: 4cd5
Elevation: 10 to 150 feet
Mean annual precipitation: 50 to 64 inches
Mean annual air temperature: 63 to 68 degrees F
Frost-free period: 220 to 250 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Nakina and similar soils: 100 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Nakina

Setting

Landform: Depressions, marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Parent material: Loamy marine deposits

Typical profile

A - 0 to 15 inches: fine sandy loam
Btg - 15 to 43 inches: sandy clay loam
BCg - 43 to 60 inches: sandy loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Very poorly drained
Runoff class: Very high
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
 (0.57 to 5.95 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: OccasionalNone
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 6w
Hydrologic Soil Group: A/D
Hydric soil rating: Yes

Oe—Osier loamy sand**Map Unit Setting**

National map unit symbol: 4cdd
Elevation: 10 to 150 feet
Mean annual precipitation: 50 to 64 inches
Mean annual air temperature: 63 to 68 degrees F
Frost-free period: 220 to 250 days
Farmland classification: Not prime farmland

Map Unit Composition

Osier and similar soils: 100 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Osier**Setting**

Landform: Depressions, marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Parent material: Sandy alluvium

Typical profile

A - 0 to 19 inches: loamy sand
Cg1 - 19 to 35 inches: sand
Cg2 - 35 to 70 inches: coarse sand

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Runoff class: Very high

Capacity of the most limiting layer to transmit water (Ksat): High to very high (5.95 to 19.98 in/hr)

Depth to water table: About 0 to 12 inches

Frequency of flooding: RareNone

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 3.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 5w

Hydrologic Soil Group: A/D

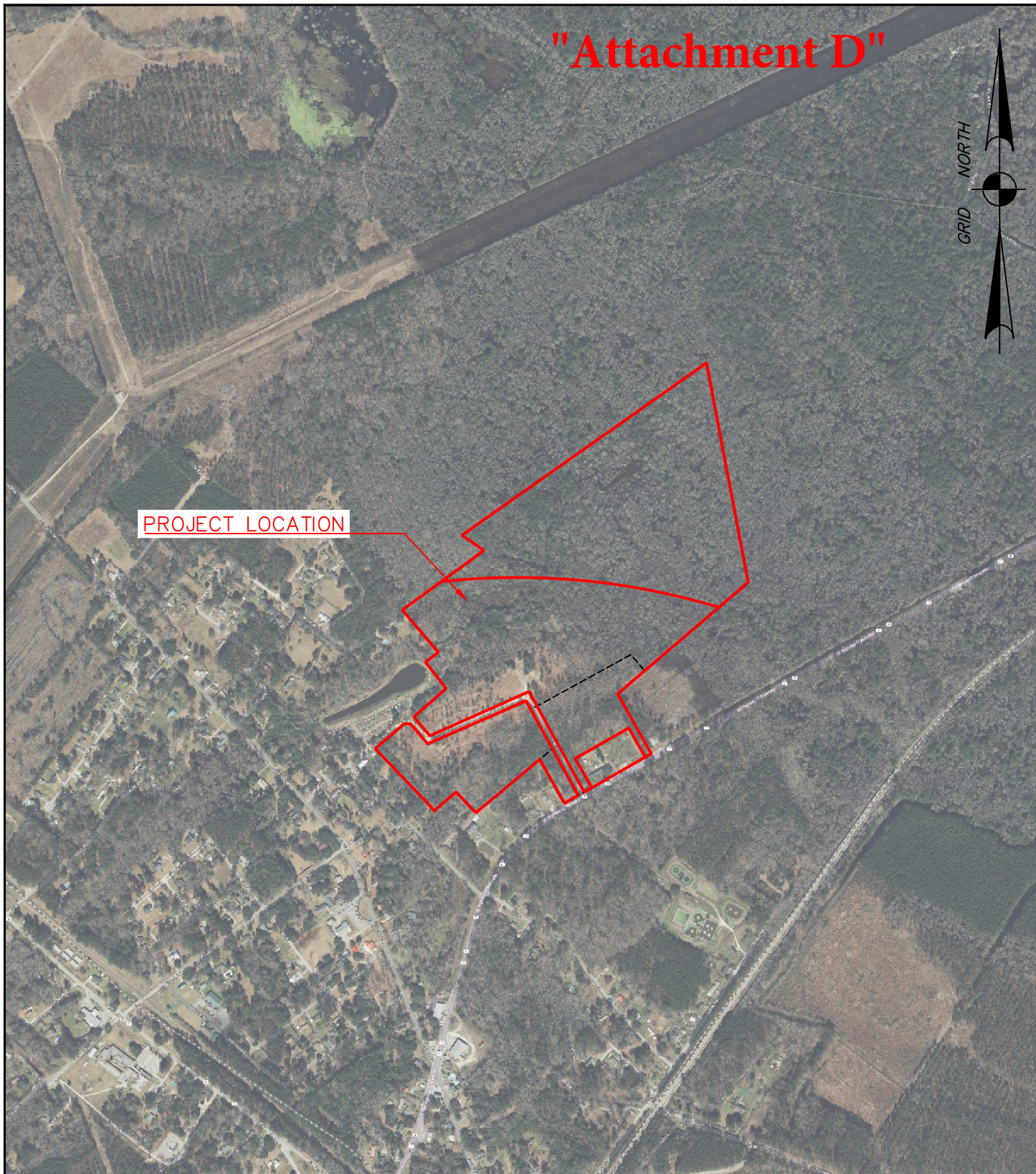
Hydric soil rating: Yes

"Attachment D"

GRID NORTH



PROJECT LOCATION



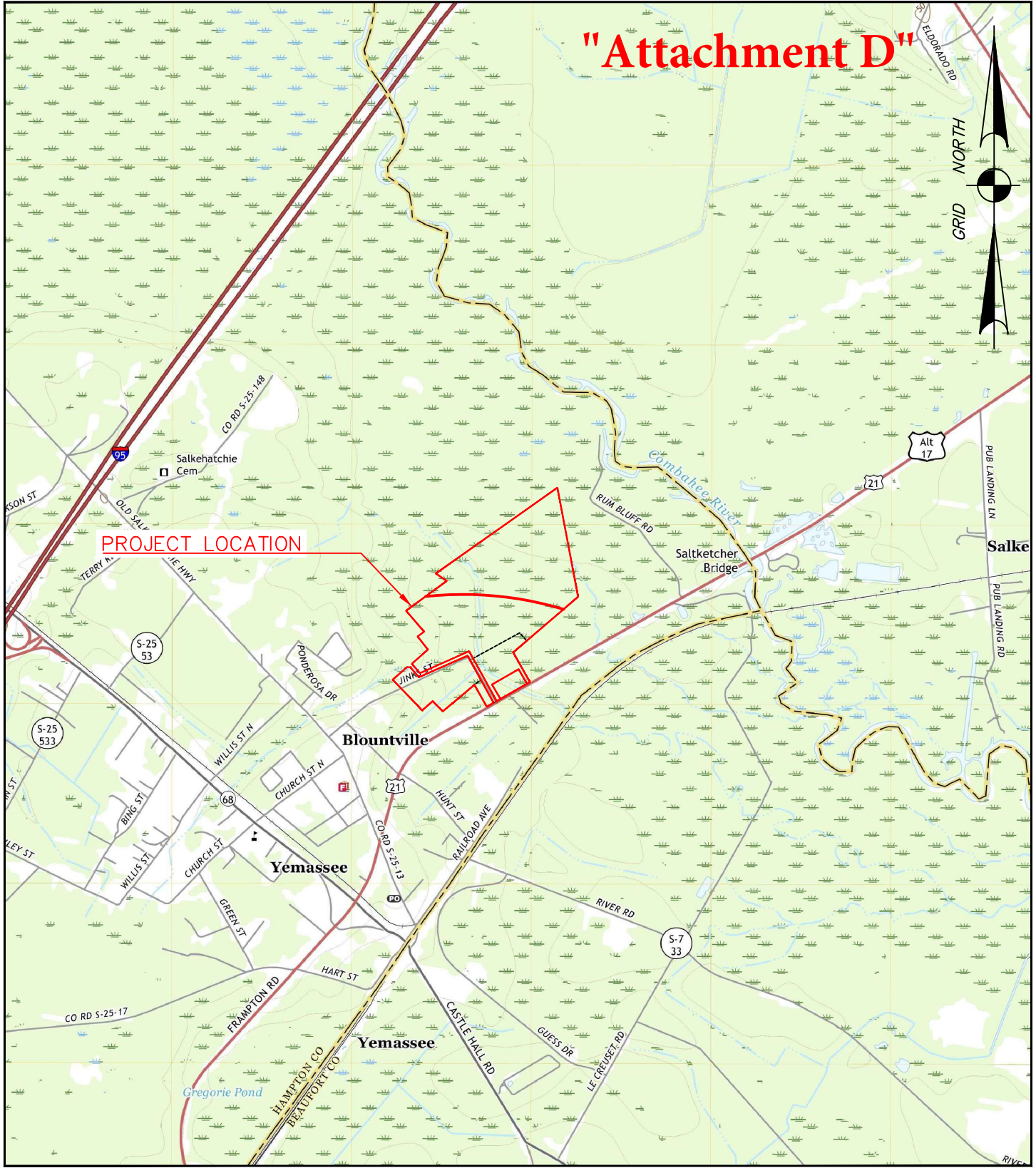
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2558
WWW.WARDEDWARDS.COM

VICINITY MAP PINE STREET DEVELOPMENT

LOCATION: YEMASSEE, SC
DATE: 10/25/2022
PROJECT #: 210148

SCALE: 1"=1,000'

"Attachment D"



P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (843) 837-5250 / FAX (843) 837-2558
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QUAD MAP PINE STREET DEVELOPMENT

LOCATION: YEMASSEE, SC
DATE: 10/25/2022
PROJECT #: 210148

SCALE: 1"=2000'

National Flood Hazard Layer FIRMette



FEMA

Attachment D

80°50'44"W 32°42'26"N

Legend
SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT



SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance 17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

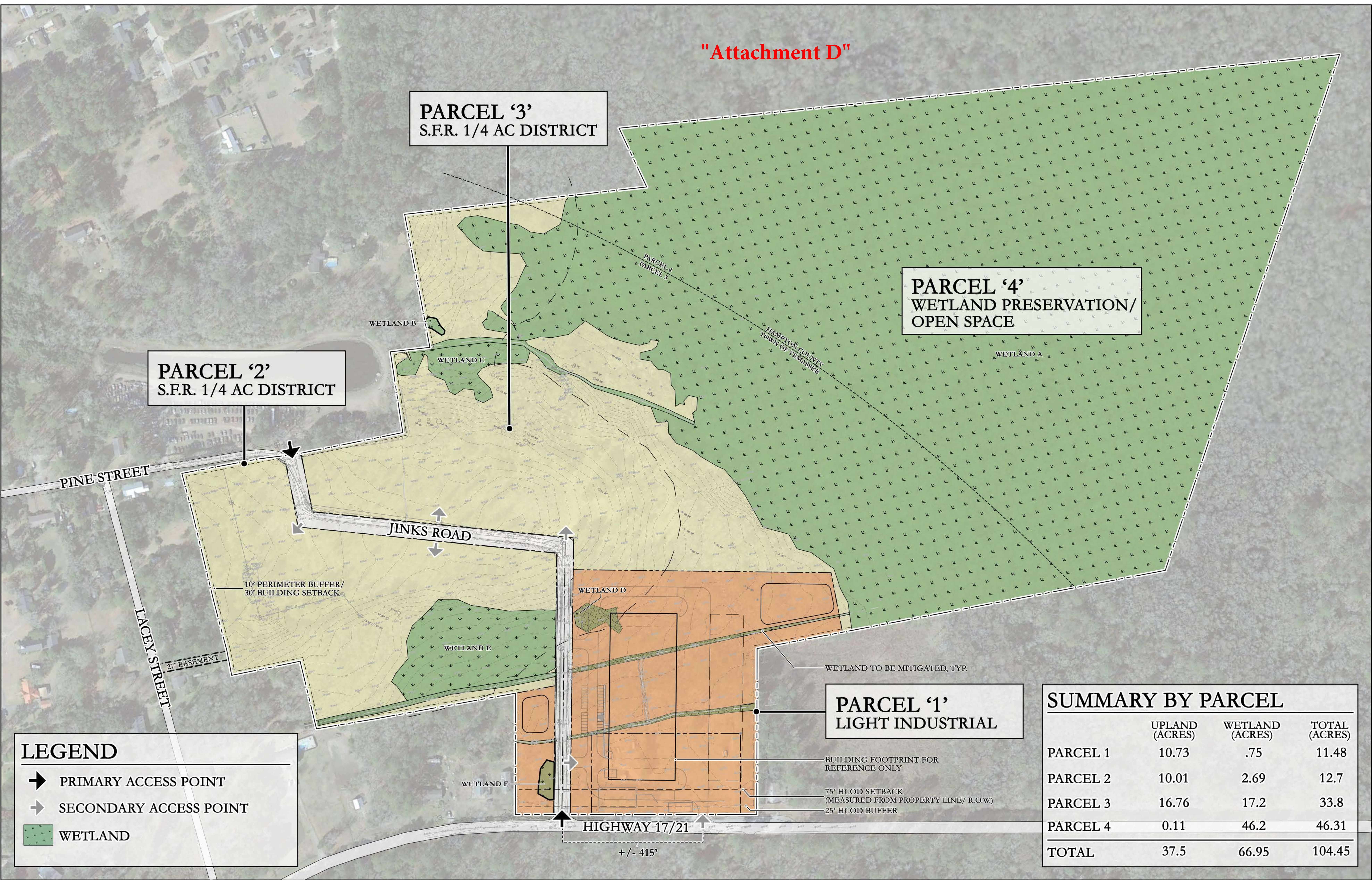
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/27/2022 at 5:25 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

"Attachment D"



PARCEL '2'
S.F.R. 1/4 AC DISTRICT

PARCEL '3'
S.F.R. 1/4 AC DISTRICT

PARCEL '4'
WETLAND PRESERVATION/
OPEN SPACE

PARCEL '1'
LIGHT INDUSTRIAL

LEGEND

- PRIMARY ACCESS POINT
- SECONDARY ACCESS POINT
- WETLAND

SUMMARY BY PARCEL

	UPLAND (ACRES)	WETLAND (ACRES)	TOTAL (ACRES)
PARCEL 1	10.73	.75	11.48
PARCEL 2	10.01	2.69	12.7
PARCEL 3	16.76	17.2	33.8
PARCEL 4	0.11	46.2	46.31
TOTAL	37.5	66.95	104.45

AMENDMENT DATE:	DESCRIPTION:

PLANNED UNIT DEVELOPMENT MASTER PLAN
FOR
PINE STREET
YEMASSEE, SOUTH CAROLINA

RE: Ironline Metals - Letter of Intent to Serve Request

"Attachment D"

Matt Sigman <matt.sigman@prtc.us>

Thu 11/10/2022 1:13 PM

To: Shelly Snyder <ssnyder@wardedwards.com>

Cc: Conor Blaney <cblaney@wardedwards.com>

Good afternoon, Shelly

After reviewing this conceptual plan with our engineering manager, he wanted me to pass this along to you.

"In reference Pine Street Residential subdivision. We have existing fiber cable on Pine St, Lacey St, and Hwy 17A. We will be able to accommodate any future build in this area with our existing fiber facilities."

Please let me know if you have any additional questions.

Thank you,

Matt Sigman

Business Development Manager

Palmetto Rural Telephone Cooperative, Inc.

Desk: [843-538-9381](tel:843-538-9381)

Mobile: [843-217-3653](tel:843-217-3653)

Business Direct: [843-538-SALE](tel:843-538-SALE)(7253)

Email: matt.sigman@prtc.coop

Business Direct: busdirect@prtc.coop

[292 Robertson Blvd.](#)

Walterboro, SC 29488





Letter of Power Availability

Nov 16, 2022

Correspondence Sent Electronically

Shelly Snyder
Ward Edwards Engineering
Bluffton, S.C.

Re: Ironline Metals, Yemassee, S.C.

Ms. Snyder:

I am pleased to inform you that Dominion Energy will be able to provide electric service to the above referenced project. Electric service will be provided in accordance with Dominion Energy General Terms and Conditions, other documents on file with the South Carolina Public Service Commission, and the company's standard operating policies and procedures. To begin engineering work for the project, the following information will need to be provided:

- 1.) Detailed utility site plan in AutoCAD format showing water, sewer, and storm drainage, as well as the requested service point/transformer locations.
- 2.) Additional drawings that indicate wetland boundaries, tree survey with barricade plan and buffer zones (if required), as well as any existing or additional easements that will also be needed.
- 3.) Electric load breakdown by type with riser diagrams and desired metering specifications.
- 4.) The anticipated timeline for each phase of the development.
- 5.) Dominion Energy has specific requirements for electric service to new water and sewer pump-stations. If your project requires these facilities, please contact me for more details.

Dominion Energy construction standards and specifications are available here:
<https://www.dominionenergy.com/south-carolina/start-stop-service/new-construction>

If you have any questions, please contact me at 843-540-1315.

Sincerely,

Parks Moss

Parks Moss
Senior Key Account Manager
Dominion Energy South Carolina



Natural Gas Letter of Availability

11/16/2022
Shelly Snyder
Ironline Metals
Yemassee, SC

I am pleased to inform you that Dominion Energy South Carolina will be able to provide natural gas service to the above referenced. Natural gas service can be provided in accordance with Dominion Energy's General Terms and Conditions, other documents on file with the South Carolina Public Service Commission, and the company's standard operating policies and procedures. **In order to begin the design process for the project, the following information will need to be provided:**

1. Site Plan / Cad File / PDF
2. Total natural gas BTU load of each piece of equipment per building
3. Delivery pressure
4. Estimated wanted by date for gas line installation
6. Permanent account established, please call 1-877-937-7234
7. All required Contribution in Aid of Construction must be received before scheduling can be arranged.

Thank you in advance for this information and I look forward to working with your company.

For more information or questions, don't hesitate to contact me.

Sincerely,

Ryan Hooks

Account Manager – Natural Gas
Dominion Energy South Carolina

81 May River Rd. Bluffton, SC 29910
P (843) 576-8911 • M (843) 412-5178
michael.r.hooks@dominionenergy.com

RE: Pine Street Development/Ironline - PUD Application Submittal

Kari Foy <kari.foy@lowcountrywater.com>

Mon 12/5/2022 13:07

To: Matthew Garnes <mgarnes@townofyemassee.org>

Cc: Brian Burgess (General Manager, Lowcountry Regional Water System) <brian.burgess@lowcountrywater.com>

Matt,

We'd like to offer a comment on Section F, Water & Sewer Service. Lowcountry Regional Water System should be noted as the water and sewer provider rather than the Town of Yemassee. Once we receive the water and sewer demand calculations and plan showing proposed improvements, we can evaluate our ability to serve and accept the project and calculate impact fees.

Thanks,

Kari H. Foy, PE

Staff Engineer

Lowcountry Regional Water System

(803) 943-1006 (office)

(803) 398-2456 (direct)

(843) 343-2920 (mobile)

APPENDIX I

DEVELOPMENT SCHEDULE

The following is a Preliminary Development Schedule for Pine Street PUD that is subject to change based on market conditions and other factors:

Year	Commercial (sq ft)	Residential (dwelling units)
Phase 1 – 2022-2024	100,000	50 DU's
Phase 2 -2025-2027	50,000	58 DU's

Invoice



Town of Yemassee
Attn: Administration Department
Yemassee Municipal Complex
101 Town Cir
Yemassee, SC 29945-3363
P: (843) 589-2565 Ext. 3
www.townofyemassee.org

Date	Invoice #
11/28/2022	2022YEM4371

Bill To
Ward Edwards Engineering Attn: Shelly Snyder, Project Administrator P.O. Box 381 Bluffton, SC 29910-0381 United States of America

PAID
02 DEC 2022
CHECK: 1005

Description	Amount
PUD Concept Plan New Application DPLN-11-22-1109 / 000 JINKS ST TMS: 204-01-05-013, 204-01-05-005 & 204-01-05-046	\$500.00
Development Plan Surety Application DSUR-11-22-110 / 000 JINKS ST TMS: 204-01-05-013, 204-01-05-005 & 204-01-05-046	\$50.00
Please make checks payable to: Town of Yemassee	
Total Due: \$550.00	

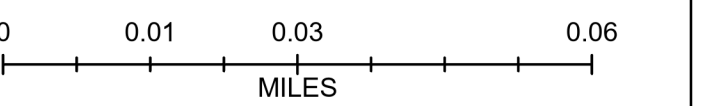
**ZONING
DEPARTMENT**

**IRONLINE
PUD**

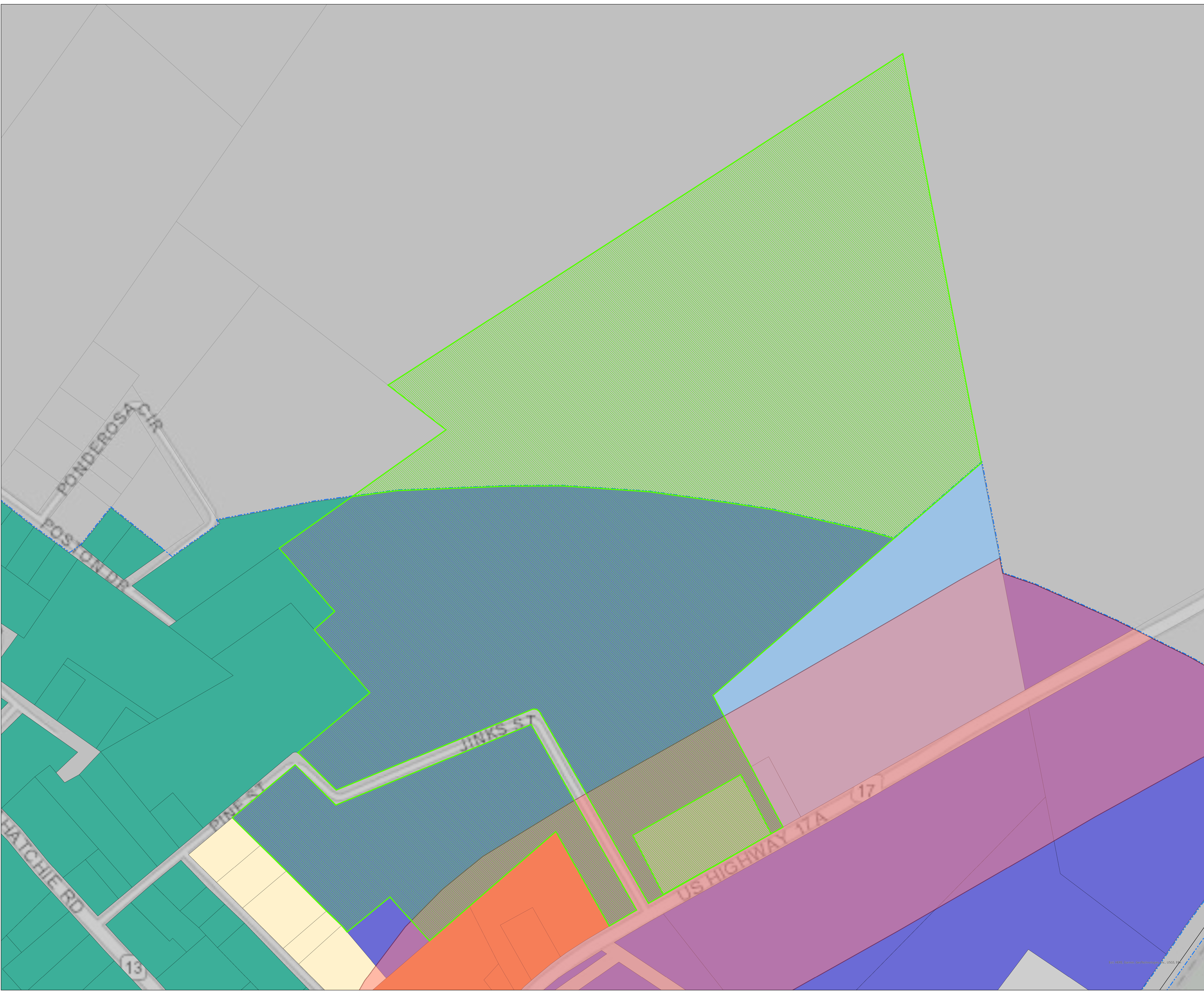
- LEGEND**
- HIGHWAY CORRIDOR OVERLAY DISTRICT
 - TOWN BOUNDARY
- YEMASSEE ZONING**
- Agricultural
 - Conservation
 - General Residential
 - Mixed Use
 - Office Commercial District
 - Planned Unit Development
 - Telecommunications Tower
 - Transitional
 - Utility
 - Village Commercial District
 - To Be Determined
 - Residential 1/4 Acre
 - Residential 1/2 Acre
 - Residential 1 Acre
 - Regional Commercial District
 - Light Industrial District
 - Highway Corridor Overlay District
 - General Residential Townhouse
 - Conservation Preservation District
 - COUNTY PARCELS
 - PARCELS
- HYDROLOGY**
- LAKE/POND
 - RESERVOIR
 - STREAM/RIVER
 - COUNTIES
 - IRONLINE PUD

DATE CREATED: 12/5/2022
DATE UPDATED: 12/5/2022

PREPARED BY: SPATIAL ENGINEERING, INC.
CARTOGRAPHY BY: GOVI HINES, GISP



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Re: Pine Street Development-Ironline

Conor Blaney <cblaney@wardedwards.com>

Thu 12/29/2022 18:05

To: Kari Foy <kari.foy@lowcountrywater.com>; Amanda Hodge <ahodge@wardedwards.com>

Cc: Matthew Garnes <mgarnes@townofyemassee.org>; Brian Burgess (General Manager, Lowcountry Regional Water System) <brian.burgess@lowcountrywater.com>

Kari,

I apologize for the delay on the hydraulic loadings as we were waiting on some final clarification on maximum employee counts from the developer to finalize calculating the demand. The current proposed development will consist of a 100,000 SF Light Industrial facility, with a wastewater demand of 760 GPD and a water demand of 988 GPD. A breakdown of how these demands were derived can be seen attached. We are proposing to connect to both the existing waterlines along US 17 and near Lacey Street, to create a looped system internal to the site along Jinks/ Pine Street to maximize the available water pressure and flows. There is an existing gravity sewer line along Pine Street which is being proposed to be utilized for the wastewater service. The current Civil plans for this development can be seen attached.

It should be noted that the mentioned proposed development is just for the southern portion of the property, in which the remaining northern and northwestern portions of the property are anticipated on being developed with single family residential housing in the near future. The phase-2 residential development could have up to 71 homes, but separate plans and hydraulic loadings would be submitted at a future date as part of that design. Please let us know if you have any questions or need anything else.

Thank you,

Conor Blaney, PE

Project Manager

Ward Edwards Engineering

T 757.814.0824 F 843.837.2558

PO Box 381, Bluffton, SC 29910

www.WardEdwards.com



From: Kari Foy <kari.foy@lowcountrywater.com>

Sent: Wednesday, December 28, 2022 12:27 PM

To: Amanda Hodge <ahodge@wardedwards.com>

Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>; Brian Burgess <brian.burgess@lowcountrywater.com>

Subject: RE: Pine Street Development-Ironline

Amanda,

We need to know the water and sewer demands for the project before we can provide a letter. I don't believe this has been provided to us yet.

Kari H. Foy, PE
Staff Engineer
Lowcountry Regional Water System
(803) 943-1006 (office)
(803) 398-2456 (direct)
(843) 343-2920 (mobile)

From: Amanda Hodge <ahodge@wardedwards.com>
Sent: Thursday, December 22, 2022 11:42 AM
To: Kari Foy <kari.foy@lowcountrywater.com>
Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>; Brian Burgess <brian.burgess@lowcountrywater.com>
Subject: Re: Pine Street Development-Ironline

Hi Kari,

Am I able to get an LOI with the Waster Sewer Availability form previously provided?

Thank you and Happy Holidays!

Amanda Hodge
Project Administrator
Ward Edwards Engineering

T 904.540.9369 F 843.837.2558

PO Box 381, Bluffton, SC 29910

FedEx- send to 119 Palmetto Way, Ste C

www.WardEdwards.com



From: Amanda Hodge <ahodge@wardedwards.com>
Sent: Tuesday, December 6, 2022 12:58 PM
To: Kari Foy <kari.foy@lowcountrywater.com>
Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>; Brian Burgess <brian.burgess@lowcountrywater.com>
Subject: Re: Pine Street Development-Ironline

Hi Kari!

Moving forward, I will be helping Conor with this project. I've attached the Water Sewer Availability form. We will send the Wastewater questionnaire as soon as that information is available.

Thank you,

Amanda Hodge

Project Administrator

Ward Edwards Engineering

T 904.540.9369 F 843.837.2558

PO Box 381, Bluffton, SC 29910

FedEx- send to 119 Palmetto Way, Ste C

www.WardEdwards.com



From: Kari Foy <kari.foy@lowcountrywater.com>

Sent: Monday, November 21, 2022 9:04 AM

To: Shelly Snyder <ssnyder@wardedwards.com>

Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>; Brian Burgess <brian.burgess@lowcountrywater.com>

Subject: RE: Pine Street Development-Ironline

Good morning,

We are not able to issue a letter of intent at this time. We have not received any information on the project other than the map you provided in your email November 2, 2022.

Attached are our development procedures as well as other forms. Please complete and submit these to LRWS along with any information you can provide to help us have a full understanding of the location, scope, size and schedule for the project. Upon our review of the information, we will schedule a pre-design meeting to verify our ability to serve the project.

Thank you,

Kari H. Foy, PE

Staff Engineer

Lowcountry Regional Water System

(803) 943-1006 (office)

(803) 398-2456 (direct)

(843) 343-2920 (mobile)

From: Shelly Snyder <ssnyder@wardedwards.com>

Sent: Wednesday, November 16, 2022 11:22 AM

To: Kari Foy <kari.foy@lowcountrywater.com>

Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>; Brian Burgess <brian.burgess@lowcountrywater.com>

Subject: RE: Pine Street Development-Ironline

Good morning Kari,

Would you be able to provide us with a Letter of Intent to service this project that we can include in our PDD submittal to the Town?

Please advise.

Many thanks,

Shelly Snyder

Project Administrator

Ward Edwards Engineering

Cell 843.384.5007

PO Box 381, Bluffton, SC 29910

www.WardEdwards.com



From: Kari Foy <kari.foy@lowcountrywater.com>

Sent: Thursday, November 3, 2022 11:31 AM

To: Shelly Snyder <ssnyder@wardedwards.com>

Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>; Brian Burgess <brian.burgess@lowcountrywater.com>

Subject: RE: Pine Street Development-Ironline

Shelly,

Attached is a map showing existing assets and some recent hydrant test data. There are some improvements planned for this area that are shown on the second attachment. This project has been funded (by CDBG) and designed but not permitted. The Town is working to secure easements and I'm not sure of the status of those.

Once you've had a chance to review this information, just give me a call if you have any questions.

Thanks,

Kari H. Foy, PE

Staff Engineer

Lowcountry Regional Water System

(803) 943-1006 (office)

(803) 398-2456 (direct)

(843) 343-2920 (mobile)

From: Shelly Snyder <ssnyder@wardedwards.com>

Sent: Wednesday, November 2, 2022 3:32 PM

To: Kari Foy <kari.foy@lowcountrywater.com>

Cc: Conor Blaney <cblaney@wardedwards.com>; Matthew Garnes <mattgarnes@townofyemassee.org>

Subject: RE: Pine Street Development-Ironline

Thank you Matthew!

Kari, could you provide an asset map for the area highlighted in the attached exhibit? Specifically we are looking for water service and hydrants. If you have any hydrant flow test data, that would be terrific.

We appreciate your help!

Kind regards,

Shelly Snyder

Project Administrator

Ward Edwards Engineering

Cell 843.384.5007

PO Box 381, Bluffton, SC 29910

www.WardEdwards.com



From: Matthew Garnes <mattgarnes@townofyemassee.org>

Sent: Wednesday, November 2, 2022 3:04 PM

To: Shelly Snyder <ssnyder@wardedwards.com>

Cc: Conor Blaney <cblaney@wardedwards.com>; Kari Foy <kari.foy@lowcountrywater.com>

Subject: Re: Pine Street Development-Ironline

My apologies. I totally overlooked that part.

Kari Foy is the Engineer with Lowcountry Regional Water System- she would be your point of contact. (803) 943-1006

I've also copied Kari on this e-mail. Thank you!

Respectfully Submitted,

Matthew Garnes

101 Town Cir

Yemassee, SC 29945-3363

Office: (843) 589-2565 Ext. 3

Fax: (843) 589-4305

The Focal Point of the Four Counties



From: Shelly Snyder <ssnyder@wardedwards.com>
Sent: Wednesday, November 2, 2022 14:16
To: Matthew Garnes <mattgarnes@townofyemassee.org>
Cc: Conor Blaney <cblaney@wardedwards.com>
Subject: RE: Pine Street Development-Ironline

Thank you Matthew!

When you have a chance, can you respond to my utility question from earlier this morning?

Kind regards,
Shelly Snyder
Project Administrator
Ward Edwards Engineering
Cell 843.384.5007
PO Box 381, Bluffton, SC 29910
www.WardEdwards.com



From: Matthew Garnes <mattgarnes@townofyemassee.org>
Sent: Wednesday, November 2, 2022 2:06 PM
To: Shelly Snyder <ssnyder@wardedwards.com>
Cc: Conor Blaney <cblaney@wardedwards.com>
Subject: Re: Pine Street Development-Ironline

Good Afternoon,

Please see the attached letter confirming receipt of the application. The original has been mailed with a copy to the applicant.

Thank you!

Respectfully Submitted,

Matthew Garnes

101 Town Cir
Yemassee, SC 29945-3363
Office: (843) 589-2565 Ext. 3

Fax: (843) 589-4305

The Focal Point of the Four Counties



From: Shelly Snyder <ssnyder@wardedwards.com>
Sent: Wednesday, November 2, 2022 08:27
To: Matthew Garnes <mattgarnes@townofyemassee.org>
Cc: Conor Blaney <cblaney@wardedwards.com>
Subject: Pine Street Development-Ironline

Good morning Matthew,

I just wanted to confirm you received the revised annexation application yesterday and that it looks correct.

Also, could you provide a contact person at Yemassee utilities? We are looking for an asset map(s) of that area and any pertinent hydrant flows that are available.

We appreciate your help!

Kind regards,

Shelly Snyder

Project Administrator

Ward Edwards Engineering

Cell 843.384.5007

PO Box 381, Bluffton, SC 29910

www.WardEdwards.com



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HYDRAULIC LOADING CALCULATION

Ironline Metals

Yemassee, SC

Project Description:

The proposed development is for an approximate 100,000 SF light industrial warehouse facility, located at the intersection of Jinks/Pine Street and Highway 21/US-17. This facility will have a total of 40 employees per shift, when operations are at full capacity. A waterline is proposed along Pine Street, adjacent to the existing sewer, to be connected to the existing waterlines along US-17 and at the intersection of Lacey Street. 2 points of connection will allow a looped system to maximize the available water flow and pressure onsite for the proposed facility and future development.

Average Daily Demand:

Based on *Appendix A* of South Carolina DHEC's Standards for Wastewater Facility Construction: R.61-67 (May 22, 2015), Factories and Industries produce 19 gallons per day per employee, without showers or kitchens.

Wastewater Capacity:

$$\begin{array}{rcl} (40 \text{ Employees}) \times (19 \text{ GPD}) & = & 760 \text{ gallons per day (GPD)} \\ \text{Total} & = & 760 \text{ gallons per day (GPD)} \end{array}$$

Water Capacity:

$$\begin{array}{rcl} (760 \text{ GPD}) \times (130\% \text{ peaking factor}) & = & 988 \text{ gallons per day (GPD)} \\ \text{Total} & = & 988 \text{ gallons per day (GPD)} \end{array}$$

Summary:

The total water loading for the proposed project is 760 gallons per day, and the proposed wastewater loading is 988 gallons per day.

Wastewater: 760 GPD
Water: 988 GPD

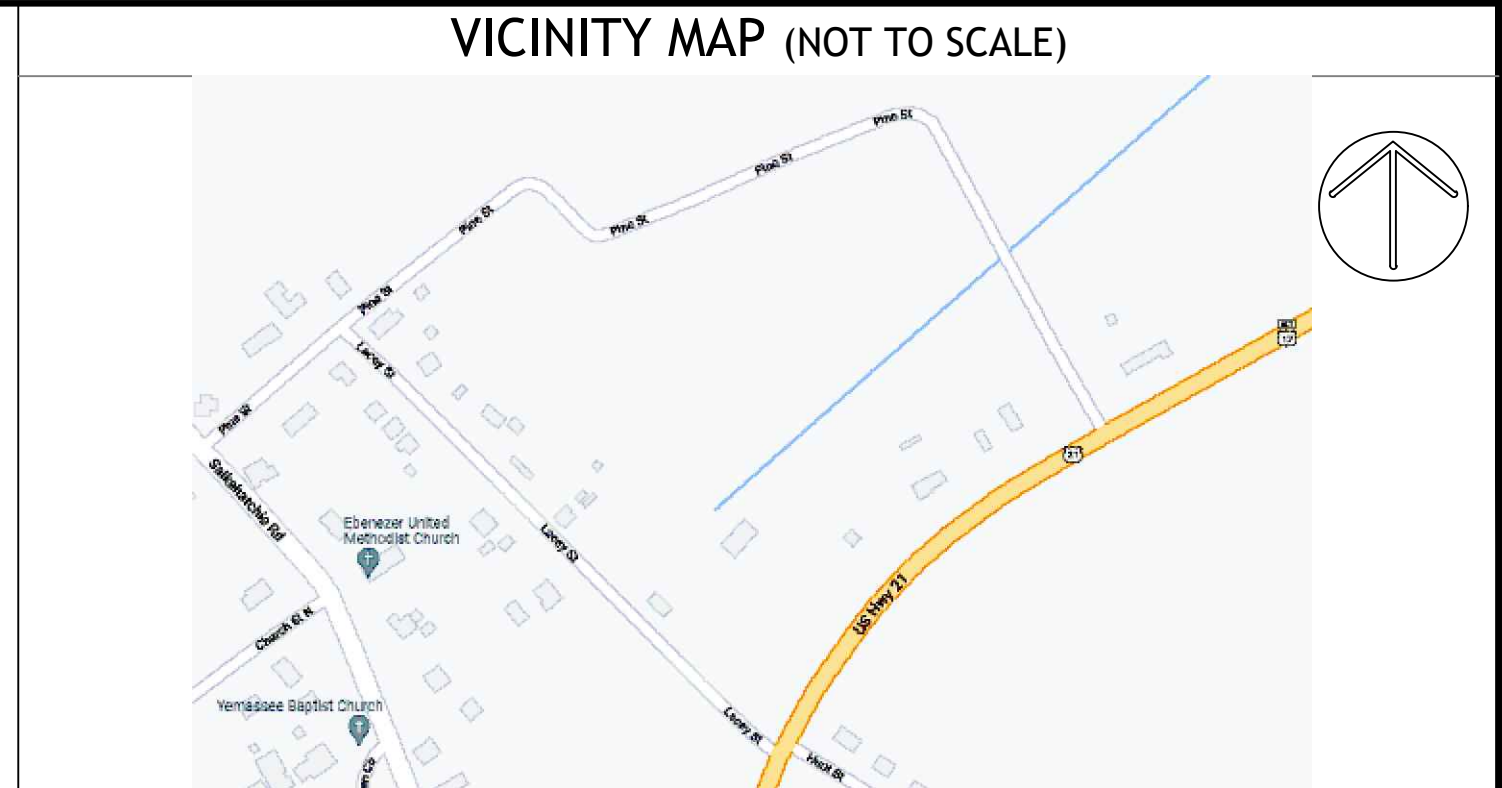


December 29, 2022

Conor Blaney, PE
SC PE # 36273

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SITE DEVELOPMENT PLANS FOR IRONLINE METALS TOWN OF YEMASSEE, SOUTH CAROLINA



GENERAL NOTES:

- BOUNDARY INFORMATION PROVIDED BY LIMITED TREE & TOPOGRAPHIC SURVEY OF CORBETT TRACT, DATED 04/01/22, BY LAND CONSULTING GROUP, LLC.
- TOPOGRAPHIC DATA PROVIDED BY LAND CONSULTING GROUP, LLC, DATED 04/01/22.
- APPROXIMATE LOCATION OF CERTAIN EXISTING UNDERGROUND UTILITY LINES AND STRUCTURES ARE SHOWN ON THE PLANS FOR INFORMATION ONLY. ADDITIONAL UNDERGROUND LINES OR STRUCTURES MAY EXIST THAT ARE NOT SHOWN. CALL SOUTH CAROLINA 811 AT 811 OR 1-888-721-7877 BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THRU FRIDAY AT LEAST THREE WORKING DAYS BEFORE COMMENCING CONSTRUCTION. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND NEAR THE CONSTRUCTION SITE.
- COMPLY WITH "SOUTH CAROLINA UNDERGROUND FACILITY DAMAGE PREVENTION ACT (EFFECTIVE JUNE 7, 2012). NOTIFICATION OF INTENT TO EXCAVATE MAY BE GIVEN BY CALLING THE TOLL FREE NUMBER: 1-800-922-0963.
- PROTECT BENCH MARKS AND PROPERTY MONUMENTS FROM DAMAGE DURING CONSTRUCTION OPERATIONS. REPLACE ANY BENCH MARKS OR MONUMENTS DAMAGED OR DESTROYED AS A RESULT OF CONTRACTOR'S OPERATIONS, AT NO COST TO THE OWNER, BY A LICENSED SURVEYOR IN THE STATE OF SOUTH CAROLINA.
- OFF-STREET PARKING FOR THE CONTRACTOR'S EMPLOYEES AND AUTHORIZED VISITORS TO THE SITE MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO WEIGHT LIMITS PRESCRIBED FOR ALL PUBLIC ROADS WHEN HAULING EQUIPMENT AND MATERIALS TO AND FROM THE PROJECT SITE. DAMAGES TO EXISTING PAVEMENT DUE TO THE CONTRACTOR'S CONSTRUCTION OPERATIONS OR IMPROPER TRANSPORTATION OF MATERIALS AND EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- AT LEAST ONE DRIVING LANE ON PUBLIC ROADS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. TRAFFIC LANES WILL ONLY BE CLOSED WITH THE EXPRESS WRITTEN CONSENT OF THE AGENCY HAVING JURISDICTION OVER THE ROADWAY. NOTIFY AGENCY HAVING JURISDICTION AT LEAST 5 DAYS BEFORE CLOSING ANY DRIVING LANES TO TRAFFIC. PROVIDE TRAFFIC CONTROL DEVICES, SIGNS AND FLAGMEN AS REQUIRED TO ENSURE PUBLIC SAFETY.
- CONTRACTOR SHALL COORDINATE DEMOLITION, CLEARING AND CONSTRUCTION OF IMPROVEMENTS TO MINIMIZE INTERFERENCE WITH VEHICULAR AND PEDESTRIAN TRAFFIC AND WITH OPERATIONS OF EXISTING FACILITIES.

SITE GRADING AND DRAINAGE:

- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 72-HOUR NOTICE TO ALL RESPECTIVE UTILITY COMPANIES FOR FIELD VERIFICATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SEQUENCING AND CONSTRUCTION TECHNIQUES SHALL PREVENT OBSTRUCTION OF STORM SEWERS, PONDING IN TRAFFIC AREAS OR RISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
- FULL WIDTH OF STREET AND ROAD RIGHTS-OF-WAY MUST BE CLEARED AND GRADED AS SHOWN IN THE DETAILS ON THE DRAWINGS.
- SUBGRADE PREPARATION: TOP SOIL SHALL BE REMOVED FROM PAVED AREAS TO A MINIMUM DEPTH AS RECOMMENDED IN THE PROJECT'S GEOTECHNICAL REPORT. ALL EXCAVATION SHALL BE TO SUBGRADE LIMITS.
- ALL UTILITY PIPE LINES, CONDUITS AND SLEEVES UNDER PAVED AREAS MUST BE IN PLACE PRIOR TO COMPLETION OF THE ROADWAY SUBGRADE COMPACTION.
- FINISH GRADING SHALL INCLUDE THE PLACEMENT OF TOPSOIL OVER ALL UNPAVED AREAS NOT OCCUPIED BY BUILDINGS OR STRUCTURES AND FINE GRADING AROUND BUILDINGS, ADJACENT TO WALKS, CURBS, GUTTERS AND STRUCTURES TO ASSURE POSITIVE DRAINAGE.

SCDHCE/OCRM SEDIMENT AND EROSION CONTROL STANDARD NOTES (REVISED DEC-2012):

- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - FIRE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS. STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED, AND STABILIZED IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INEVITABLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

DRY UTILITY CONDUITS FOR ELECTRIC, TELEPHONE AND CABLE TV:

- ALL DRY UTILITY CONDUIT ENDS SHALL BE CAPPED AND MARKED WITH A STEEL REBAR STAKE IMBEDDED ONE (1) FOOT BELOW GROUND SURFACE.
- 48" MINIMUM BURY DEPTH FOR ALL ELECTRICAL CONDUITS.
- MAINTAIN MINIMUM 12" VERTICAL CLEARANCE WHEN CROSSING WATER, SEWER, AND STORM DRAIN LINES.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- EXTEND CONDUIT BEYOND PAVEMENT, CURB, AND SIDEWALKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS. REFER TO APPROVED BUILDING PLANS FOR THE EXACT LOCATION OF SERVICE CONNECTIONS. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARDS TO THE INSTALLATION OF UTILITIES AND CONDUIT.
- LOCATIONS SHOWN ON THE PLANS FOR PROPOSED DRY UTILITY CONDUITS ARE APPROXIMATE ONLY. ALL DIMENSIONING AND STAKING SHOULD BE BASED ON ECONOMICAL AND PRACTICAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE RESPECTIVE UTILITY REPRESENTATIVES, PRIOR TO ANY CONDUIT INSTALLATION.
- TRANSFORMER PADS SHALL BE LOCATED AS DIRECTED BY THE RESPECTIVE UTILITY REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.
- NOTIFY THE ENGINEER IF CONFLICTS WITH EXISTING OR PROPOSED STRUCTURES REQUIRE PROPOSED UTILITIES BE RELOCATED.

SITE CLEARING AND DEMOLITION:

- NO CLEARING SHALL OCCUR WITHIN DESIGNATED BUFFER ZONES, TREE PROTECTION ZONES, OUTSIDE OF THE PROPERTY LINES OR BEYOND THE CLEARING LIMITS UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS.
- ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS.
- THE CONTRACTOR SHALL INSTALL A CONTINUOUS LINE OF FLAGGING OR FENCING ALONG THE LIMITS OF CLEARING PRIOR TO COMMENCING ANY CLEARING, DEMOLITION, OR CONSTRUCTION WORK ON THE PROJECT.
- EXERCISE CAUTION DURING CLEARING OPERATIONS TO AVOID FELLING TREES INTO DESIGNATED TREE PROTECTION ZONES.
- NO BURNING WILL BE ALLOWED WITHIN A TREE PROTECTION ZONE OR TREE DRIP LINE. CONTRACTOR SHALL COORDINATE ANY BURNING OPERATIONS WITH LOCAL JURISDICTION AND FIRE DEPARTMENTS.
- SELECTIVE CLEARING AREAS SHALL BE CLEARED OF ALL BRUSH AND UNDERSTORY GROWTH.

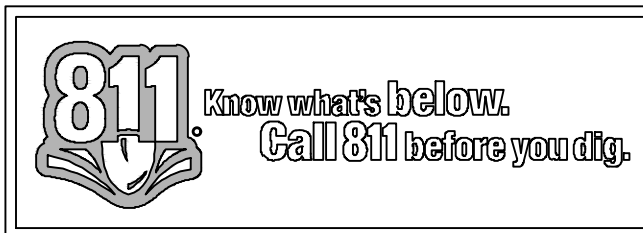
UTILITY CONTACTS:

PALMETO ELECTRIC	843-208-5512	1 COOPERATIVE WAY, HARDEVILLE, SC 29927
DOMINION ENERGY	800-251-7234	PO BOX 100255 COLUMBIA, SC 29202
LOWCOUNTRY REGIONAL WATER SYSTEM	803-943-1006	513 ELM STREET WEST, SC 29924
HARGRAY COMMUNICATIONS	843-815-1675	PO BOX 3380, BLUFFTON, SC 29910
THE WARNER CABLE	843-913-7040	11 OFFICE PARK ROAD, HILTON HEAD, SC 29928
CENTURY LINK	843-525-0044	2127 BOUNDARY ST #16, BEAUFORT, SC 29902
SANTEC COOPER	843-761-8000	1 RIVERWOOD DRIVE, MONCK'S CORNER, SC 29461

CONTRACTOR NOTE:

CONTRACTOR TO OBTAIN AND BECOME FAMILIAR WITH GEOTECHNICAL REPORT #12591408-00 PREPARED BY GH.D.

ALL WORK MUST CONFORM TO PROJECT TECHNICAL SPECIFICATIONS FOR IRONLINE METALS PREPARED BY WARD EDWARDS ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE TECHNICAL SPECIFICATIONS IF NOT PROVIDED WITH THE DRAWINGS.



PROJECT INFORMATION

DEVELOPER:
TIM HUBER
RAMSEY DEVELOPMENT
706 JEFFERSON STREET, TELL CITY, IN 47586
812.719.0008
THUBER@RAMSEYDEVELOPMENT.COM

PROPERTY OWNER:
TIM HUBER
RAMSEY DEVELOPMENT
706 JEFFERSON STREET, TELL CITY, IN 47586
812.719.0008
THUBER@RAMSEYDEVELOPMENT.COM

SOURCE OF TITLE:
HAMPTON COUNTY REGISTER OF DEEDS,
DEED BOOK 484 PAGE 261

PROJECT STREET ADDRESS:
PINE STREET & HWY 21/17

PROPERTY IDENTIFICATION NO.:
County I.D. # 204-01-05-005
204-01-05-013

DEVELOPMENT PERMIT JURISDICTION:
TOWN OF YEMASSEE

USE:
EXISTING: UNDEVELOPED
PROPOSED: INDUSTRIAL

REQUIRED SETBACKS:

FRONT: XX FEET
REAR: XX FEET
SIDE: XX FEET
STREET: XX FEET

SURFACE COVERAGE:

MAX IMPERVIOUS ALLOWED: XX %
MIN OPEN SPACE REQUIRED: XX %
EXISTING IMPERVIOUS: XX,XXX SQ. FT. (XX %)
PROPOSED IMPERVIOUS: XX,XXX SQ. FT. (XX %)
OPEN SPACE PROVIDED: XX,XXX SQ. FT. (XX %)
WETLANDS/NAT. RESOURCE: XX,XXX SQ. FT. (XX %)

PARKING SUMMARY:

PARKING USE TYPES
USE TYPE = XX SPACES/XX SQ. FT.
PARKING REQUIRED:
USE TYPE = XX SPACES
PARKING PROVIDED:
TOTAL = XX SPACES
ACCESSIBLE PARKING REQUIRED: X SPACES
ACCESSIBLE PARKING PROVIDED: X SPACES

DESIGN TEAM

LAND SURVEYOR:
LAND CONSULTING GROUP, LLC
843.575.5206

ARCHITECT:
COURT ATKINS GROUP
843.815.2557

LANDSCAPE ARCHITECT:
WITMER, JONES, KEEFER LTD.
843.757.7411

GEOTECHNICAL ENGINEER:
GHD
843.815.5120

WETLAND CONSULTANT:
RESOURCE & LAND CONSULTANTS
912.443.5896

SHEET NO.

SHEET NO.	DESCRIPTION
C001	COVER SHEET & CONSTRUCTION NOTES
C002	SHEET INDEX
C101	EXISTING CONDITIONS PLANS
C201	INITIAL EROSION CONTROL PLANS AND DETAILS
C301	CLEARING & DEMOLITION PLANS AND DETAILS
C401	SITE LAYOUT PLANS
C501	GRADING PLANS AND DETAILS
C601	DRAINAGE PLANS AND DETAILS
C700	OVERALL UTILITY PLAN
C701	UTILITY PLANS, PROFILES AND DETAILS
C801	INTERMEDIATE EROSION CONTROL PLANS AND DETAILS
C901	PAVING PLANS, ROAD PROFILES AND DETAILS
C1001	FINAL EROSION CONTROL PLANS AND DETAILS
C1101	SCDOT SIGHT DISTANCE EXHIBIT AND SCDOT DETAILS

RELEASE SCHEDULE

RELEASE NO.	DESCRIPTION	DATE
A.	RELEASED FOR PERMITTING	12-27-22
B.	RELEASED FOR PERMITTING	12-29-22

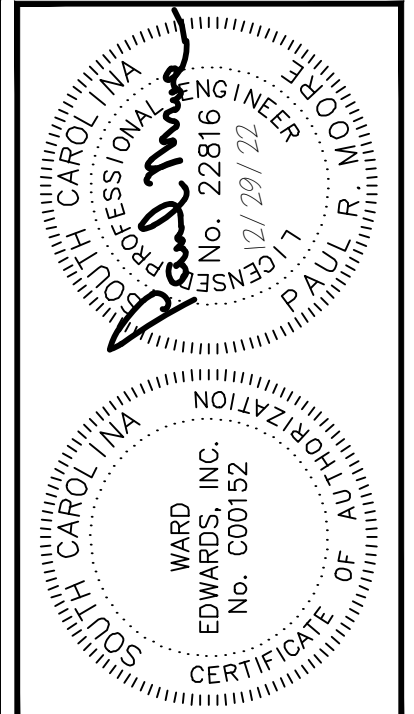
SEQUENCE OF CONSTRUCTION ACTIVITIES

- ESTIMATED START DATE: 03/01/2023 ESTIMATED COMPLETION DATE: 12/01/2023
ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.
- PHASE 1: (INITIAL)**
- RECEIVE NPDES COVERAGE FROM DHEC.
 - HOLD PRE-CONSTRUCTION MEETING.
 - NOTIFY DHEC EOC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
 - INSTALLATION OF CONSTRUCTION ENTRANCE.
 - CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
 - INSTALLATION OF PERIMETER CONTROLS (E.G. SILT FENCE).
 - INSTALL TREE PROTECTION.
 - INSTALL INLET PROTECTION.
 - INSTALL SEDIMENT TUBES.
 - CLEARING & GRUBBING ONLY IN AREAS OF BASIN.
- PHASES 2 & 3: (INTERMEDIATE & FINAL)**
- INSTALLATION OF BASIN AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET STRUCTURES MUST BE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO NEXT STEP; AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THE STRUCTURES & DIVERSIONS TO THE STRUCTURES ARE COMPLETELY INSTALLED). INSTALL SURFACE DEWATERING SKIMMER PRIOR TO MOVING TO NEXT STEP.
 - CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
 - ROUGH GRADING.
 - INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED.
 - INSTALL ALL REQUIRED UTILITIES AND CURBING.
 - FINE GRADING, PAVING, ETC.
 - PLACE TOPSOIL & ESTABLISH FINISH GRADES.
 - PERMEABLE PAVERS SHALL BE LAID WHEN ALL HEAVY CONSTRUCTION IS COMPLETED.
 - CLEAN-OUT OF DETENTION BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND RE-GRADING OF DETENTION POND BOTTOMS; IF NECESSARY, MODIFICATION OF SEDIMENT BASIN RISER TO CONVERT TO DETENTION BASIN OUTLET STRUCTURE.
 - INSTALL PERMANENT SEEDING.
 - FLUSH ANY SEDIMENT FROM STORM SEWER PIPES AND INLETS.
 - REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES (INCLUDING SKIMMER) AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER / OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
 - PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MS4 FOR ACCEPTANCE.
 - SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.
- NOTE: PERFORM WEEKLY SITE INSPECTIONS DURING LAND DISTURBING ACTIVITIES AND MAKE RECOMMENDATIONS FOR ADDITIONAL BMPS OR MAINTENANCE OF EXISTING BMP.
 - NOTE: ALL PUMPED DEWATERING SHALL BE PERFORMED USING AN APPROPRIATELY SIZED PUMPED WATER FILTER BAG.

SCDHCE-OCRM CERTIFICATION:

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 46, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

PERMITS			
PERMIT	PERMIT #	ISSUED	EXPIRES
LOWCOUNTRY REGIONAL WATER SYSTEM			
FIRE MARSHAL			
SCDHCE/MS4 STORMWATER			
SCDHCE WATER			
SCDHCE WASTEWATER			
SCDOT ENCROACHMENT UTILITY			
SCDOT ENCROACHMENT DRIVEWAY			
MUNICIPALITY DEVELOPMENT			
USACE DETERMINATION			
USACE PERMIT			



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards
ENGINEERING
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH: (843) 837-5350 / FAX: (843) 837-2358
WWW.WARDEDWARDS.COM

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
COVER SHEET & CONSTRUCTION NOTES

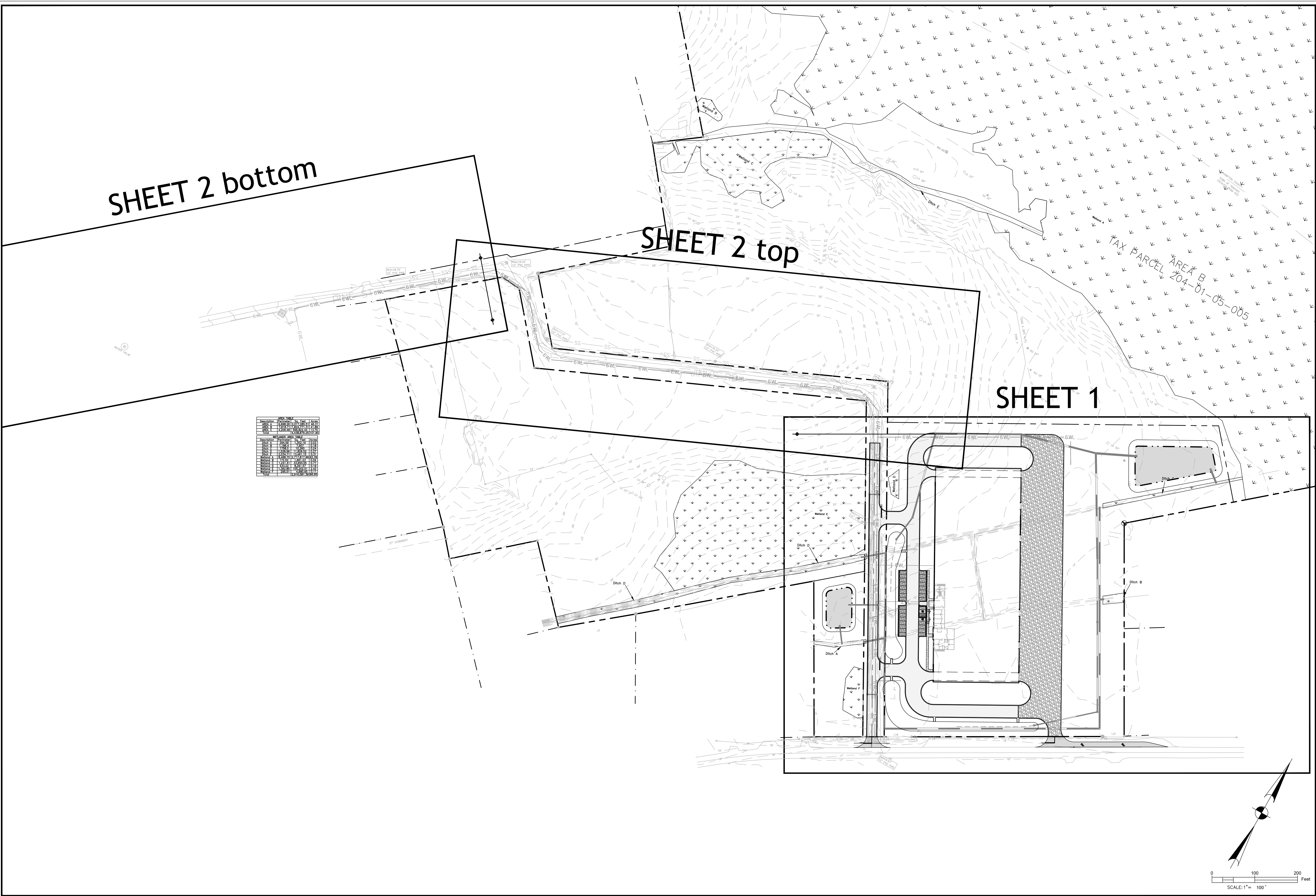
VERTICAL DATUM:
NAVD88

PROJECT #:	210168
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

SHEET C001

NOT FOR CONSTRUCTION

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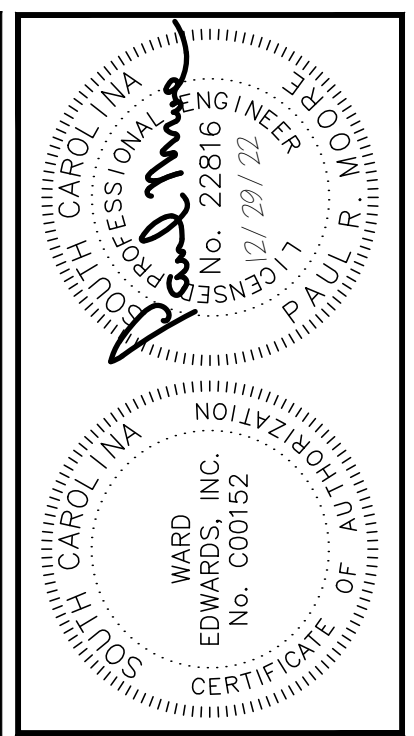


SHEET 2 bottom

SHEET 2 top

SHEET 1

Description	Quantity	Unit	Notes
Excavation	1000	cu yd	
Backfill	1000	cu yd	
Gravel	1000	cu yd	
Concrete	1000	cu yd	
Rebar	1000	lb	
Steel	1000	lb	
Asphalt	1000	sq yd	
Grass	1000	sq ft	
Water	1000	gal	
Electric	1000	ft	
Plumbing	1000	ft	
Mechanical	1000	ft	
Foundation	1000	sq ft	
Roofing	1000	sq ft	
Interior	1000	sq ft	
Exterior	1000	sq ft	
Landscaping	1000	sq ft	
Site Work	1000	sq ft	
Other	1000	sq ft	



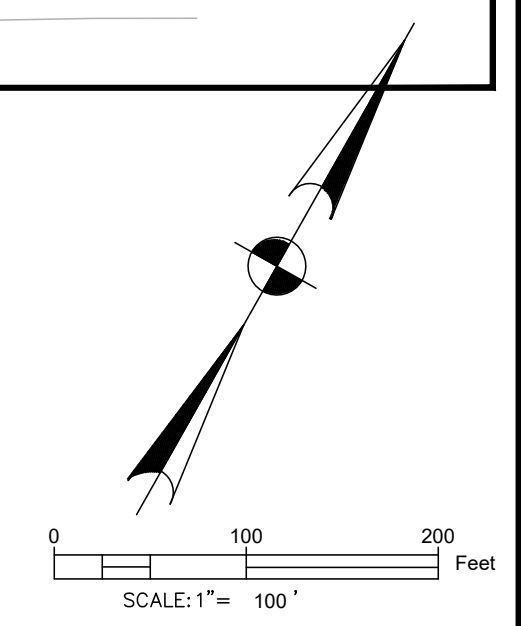
NO.	DESCRIPTION	DATE
1		
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7		

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WWW.WARDEDWARDS.COM

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
SHEET INDEX

VERTICAL DATUM:	NAVD88
PROJECT #:	210148
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

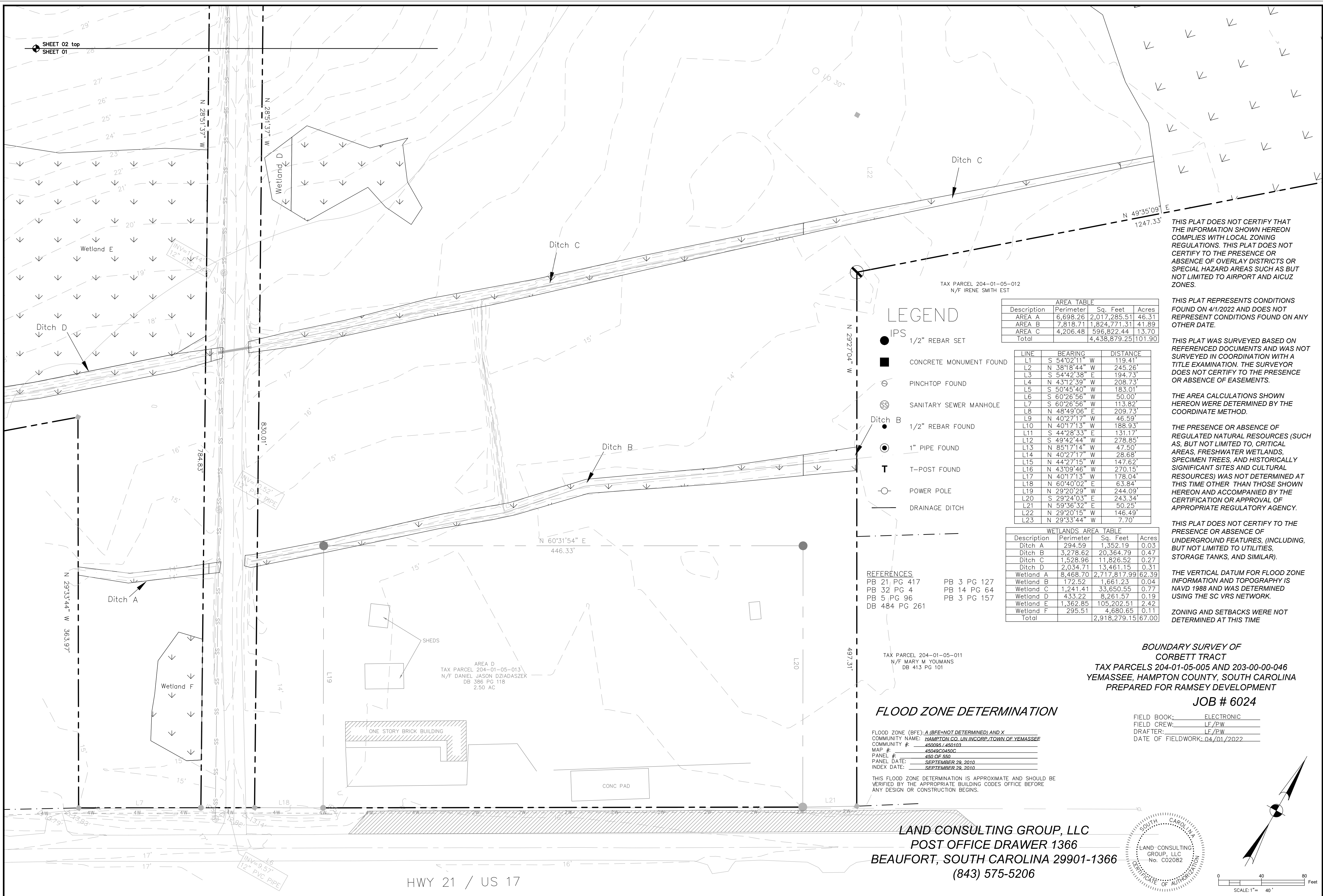
SHEET C002



IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY

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LEGEND

- 1/2" REBAR SET
- CONCRETE MONUMENT FOUND
- ⊙ PINCHTOP FOUND
- ⊙ SANITARY SEWER MANHOLE
- 1/2" REBAR FOUND
- 1" PIPE FOUND
- T T-POST FOUND
- POWER POLE
- DRAINAGE DITCH

AREA TABLE

Description	Perimeter	Sq. Feet	Acres
AREA A	6,698.26	2,017,285.51	46.31
AREA B	7,818.71	1,824,771.31	41.89
AREA C	4,206.48	596,822.44	13.70
Total		4,438,879.25	101.90

LINE BEARING DISTANCE

LINE	BEARING	DISTANCE
L1	S 54°02'11" W	119.41'
L2	N 38°18'44" W	245.26'
L3	S 54°42'38" E	194.73'
L4	N 43°12'39" W	208.73'
L5	S 50°45'40" W	183.01'
L6	S 60°26'56" W	50.00'
L7	S 60°26'56" W	113.82'
L8	N 48°49'06" E	209.73'
L9	N 40°27'17" W	46.59'
L10	N 40°17'13" W	188.93'
L11	S 44°28'33" E	131.17'
L12	S 49°42'44" W	278.85'
L13	N 85°17'14" W	47.50'
L14	N 40°27'17" W	28.68'
L15	N 44°27'15" W	147.62'
L16	N 43°09'46" W	270.15'
L17	N 40°17'13" W	178.04'
L18	N 60°40'02" E	63.84'
L19	N 29°20'29" W	244.09'
L20	S 29°24'03" E	243.34'
L21	N 59°36'32" E	50.25'
L22	N 29°20'15" W	146.49'
L23	N 29°33'44" W	7.70'

WETLANDS AREA TABLE

Description	Perimeter	Sq. Feet	Acres
Ditch A	294.59	1,352.19	0.03
Ditch B	3,278.62	20,364.79	0.47
Ditch C	1,528.96	11,826.52	0.27
Ditch D	2,034.71	13,461.15	0.31
Wetland A	8,468.70	2,717,817.99	62.39
Wetland B	172.52	1,661.23	0.04
Wetland C	1,241.41	33,650.55	0.77
Wetland D	433.22	8,261.57	0.19
Wetland E	1,362.85	105,202.51	2.42
Wetland F	295.51	4,680.65	0.11
Total		2,918,279.15	67.00

- REFERENCES**
- PB 21 PG 417
 - PB 32 PG 4
 - PB 5 PG 96
 - DB 484 PG 261
 - PB 3 PG 127
 - PB 14 PG 64
 - PB 3 PG 157

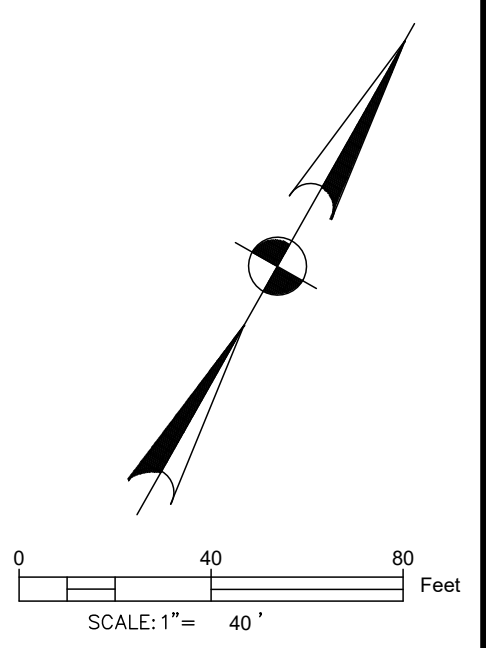
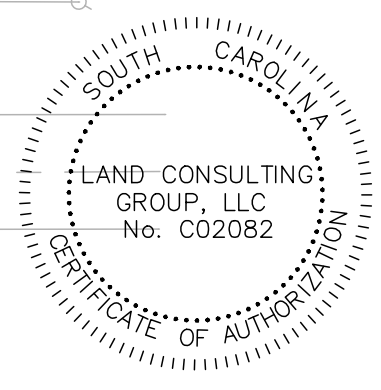
TAX PARCEL 204-01-05-011
N/F MARY M YOUMANS
DB 413 PG 101

FLOOD ZONE DETERMINATION

FLOOD ZONE (BF): A (BF=NOT DETERMINED) AND X
 COMMUNITY NAME: HAMPTON CO. UNINCORP./TOWN OF YEMASSEE
 COMMUNITY #: 450095 / 450103
 MAP #: 45049024502
 PANEL #: 450 OF 550
 PANEL DATE: SEPTEMBER 29, 2010
 INDEX DATE: SEPTEMBER 29, 2010

THIS FLOOD ZONE DETERMINATION IS APPROXIMATE AND SHOULD BE VERIFIED BY THE APPROPRIATE BUILDING CODES OFFICE BEFORE ANY DESIGN OR CONSTRUCTION BEGINS.

LAND CONSULTING GROUP, LLC
 POST OFFICE DRAWER 1366
 BEAUFORT, SOUTH CAROLINA 29901-1366
 (843) 575-5206



THIS PLAT DOES NOT CERTIFY THAT THE INFORMATION SHOWN HEREON COMPLIES WITH LOCAL ZONING REGULATIONS. THIS PLAT DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF OVERLAY DISTRICTS OR SPECIAL HAZARD AREAS SUCH AS BUT NOT LIMITED TO AIRPORT AND AICUZ ZONES.

THIS PLAT REPRESENTS CONDITIONS FOUND ON 4/1/2022 AND DOES NOT REPRESENT CONDITIONS FOUND ON ANY OTHER DATE.

THIS PLAT WAS SURVEYED BASED ON REFERENCED DOCUMENTS AND WAS NOT SURVEYED IN COORDINATION WITH A TITLE EXAMINATION. THE SURVEYOR DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF EASEMENTS.

THE AREA CALCULATIONS SHOWN HEREON WERE DETERMINED BY THE COORDINATE METHOD.

THE PRESENCE OR ABSENCE OF REGULATED NATURAL RESOURCES (SUCH AS, BUT NOT LIMITED TO, CRITICAL AREAS, FRESHWATER WETLANDS, SPECIMEN TREES, AND HISTORICALLY SIGNIFICANT SITES AND CULTURAL RESOURCES) WAS NOT DETERMINED AT THIS TIME OTHER THAN THOSE SHOWN HEREON AND ACCOMPANIED BY THE CERTIFICATION OR APPROVAL OF APPROPRIATE REGULATORY AGENCY.

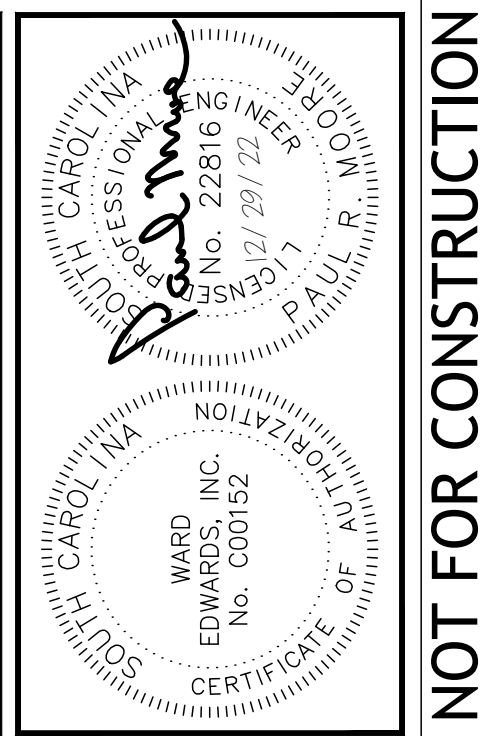
THIS PLAT DOES NOT CERTIFY TO THE PRESENCE OR ABSENCE OF UNDERGROUND FEATURES, (INCLUDING, BUT NOT LIMITED TO, UTILITIES, STORAGE TANKS, AND SIMILAR).

THE VERTICAL DATUM FOR FLOOD ZONE INFORMATION AND TOPOGRAPHY IS NAVD 1988 AND WAS DETERMINED USING THE SC VRS NETWORK.

ZONING AND SETBACKS WERE NOT DETERMINED AT THIS TIME

BOUNDARY SURVEY OF CORBETT TRACT
 TAX PARCELS 204-01-05-005 AND 203-00-00-046
 YEMASSEE, HAMPTON COUNTY, SOUTH CAROLINA
 PREPARED FOR RAMSEY DEVELOPMENT
JOB # 6024

FIELD BOOK: ELECTRONIC
 FIELD CREW: LE/PW
 DRAFTER: LE/PW
 DATE OF FIELDWORK: 04/01/2022



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Ward Edwards ENGINEERING
 P.O. BOX 381, BLUEFORD, SOUTH CAROLINA 29910
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IRONLINE METALS
 TOWN OF YEMASSEE, SOUTH CAROLINA
 RAMSEY DEVELOPMENT, LLC
 TELL CITY, INDIANA
EXISTING CONDITIONS PLAN

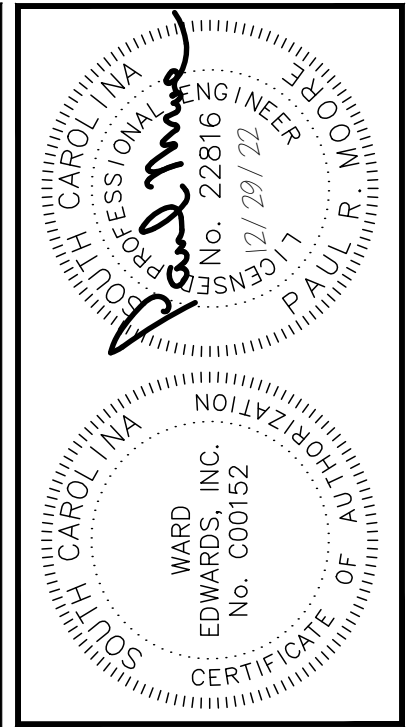
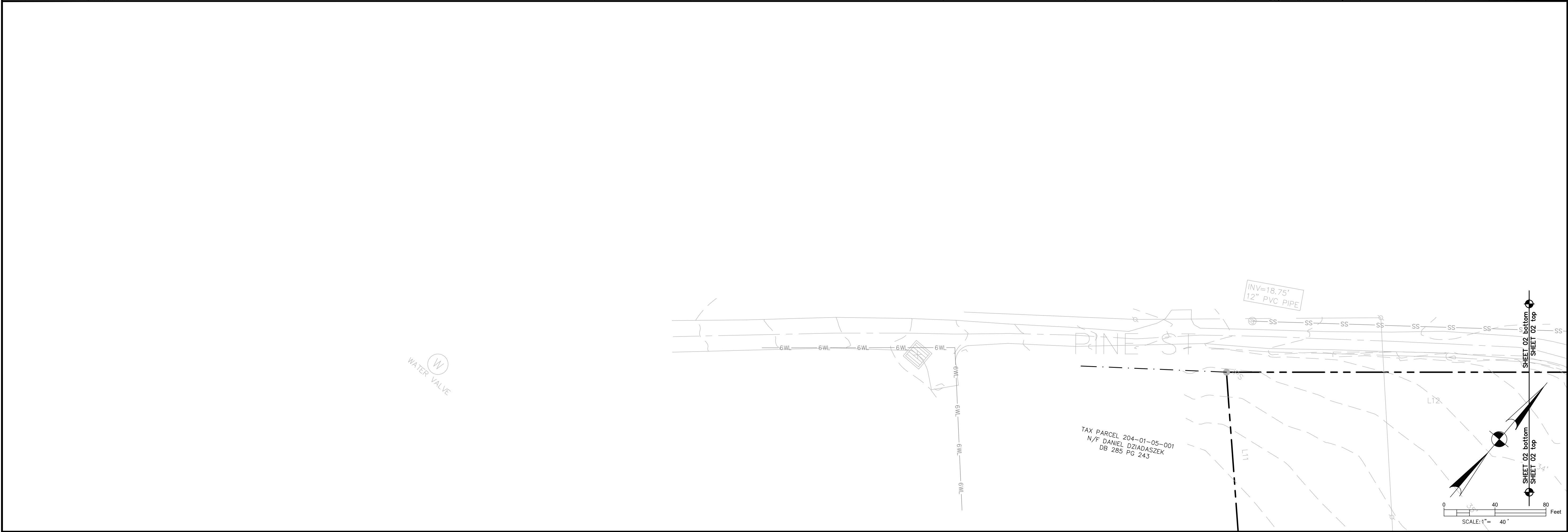
VERTICAL DATUM: NAVD88

PROJECT #:	210148
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
EXISTING CONDITIONS PLAN

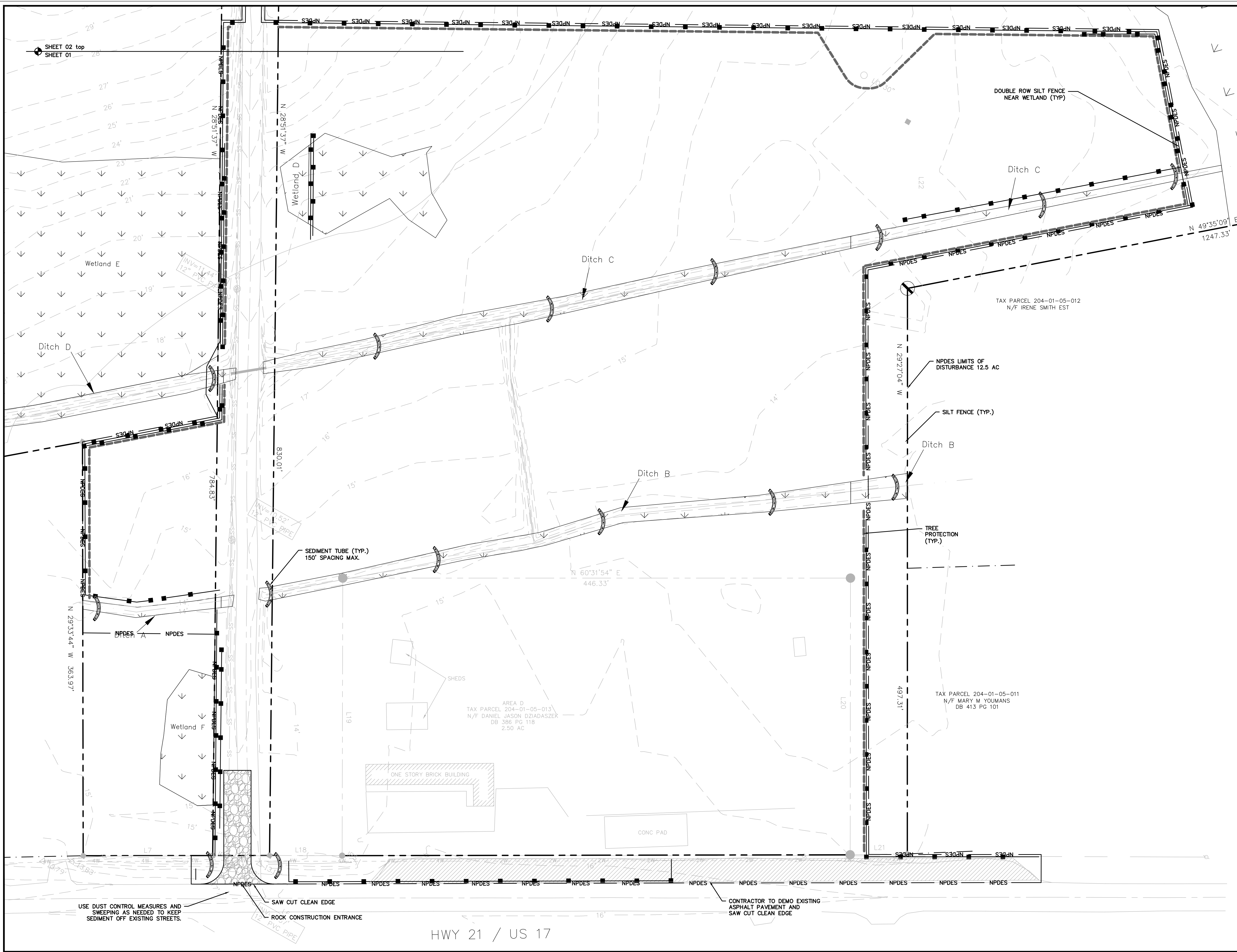
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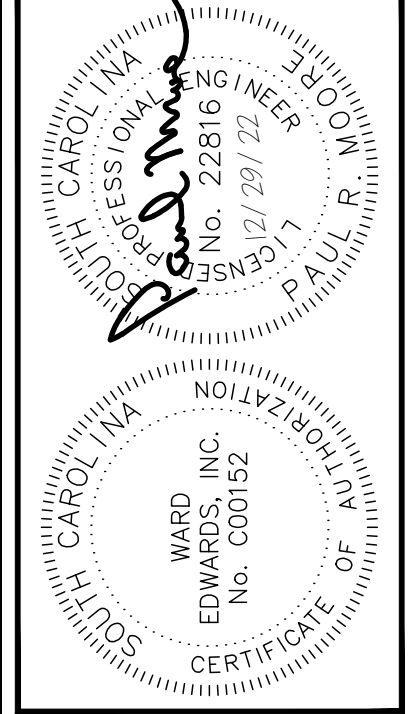
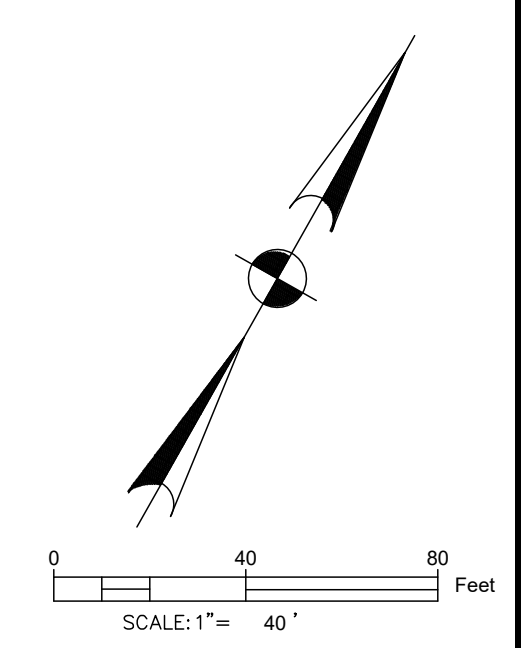
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LIMITS OF DISTURBANCE:		NPDES
EROSION PREVENTION		
LAND GRADING:	LG	OR
SURFACE ROUGHENING:		
TOPSOILING:		
TEMPORARY SEEDING:	TS	
MULCHING:	M	
ECB OR TRM:	ECB	TRM
FGM:	FGM	
BFM:	BFM	
PERMANENT SEEDING:	PS	
SODDING:	SO	
RIPRAP:		
OUTLET PROTECTION:		RIPRAP ECB or TRM
DUST CONTROL:	DC	
POLYACRYLAMIDE (PAM):	PAM	

SEDIMENT CONTROL	
SEDIMENT BASIN:	
TEMPORARY SEDIMENT TRAP:	
ROCK SEDIMENT DIKE:	
ROCK CHECK DAM:	
SEDIMENT TUBE:	
SILT FENCE:	
REINFORCED SILT FENCE:	
TYPE A - FABRIC INLET PROTECTION:	
TYPE A - SEDIMENT TUBE INLET PROTECTION:	
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	
TYPE D - RIGID INLET FILTERS:	
TYPE E - SURFACE COURSE CURB INLET FILTER:	
TYPE F - INLET TUBE:	
TYPE FC - FILTER BAG CURB INLET PROTECTION:	
TYPE FB - FILTER BAG GRATE INLET PROTECTION:	
CONCRETE WASHOUT:	

RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	
RIPRAP-LINED CHANNELS:	
ECB OR TRM-LINED CHANNELS:	
PAVED CHANNELS:	
PIPE SLOPE DRAINS:	
TEMPORARY STREAM CROSSING:	
TEMPORARY DIVERSION DITCH OR SWALE:	
PERMANENT DIVERSION DITCH:	
DIVERSION DIKE OR BERM:	
LEVEL SPREADER:	
SUBSURFACE DRAIN:	



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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA

INITIAL EROSION CONTROL PLAN

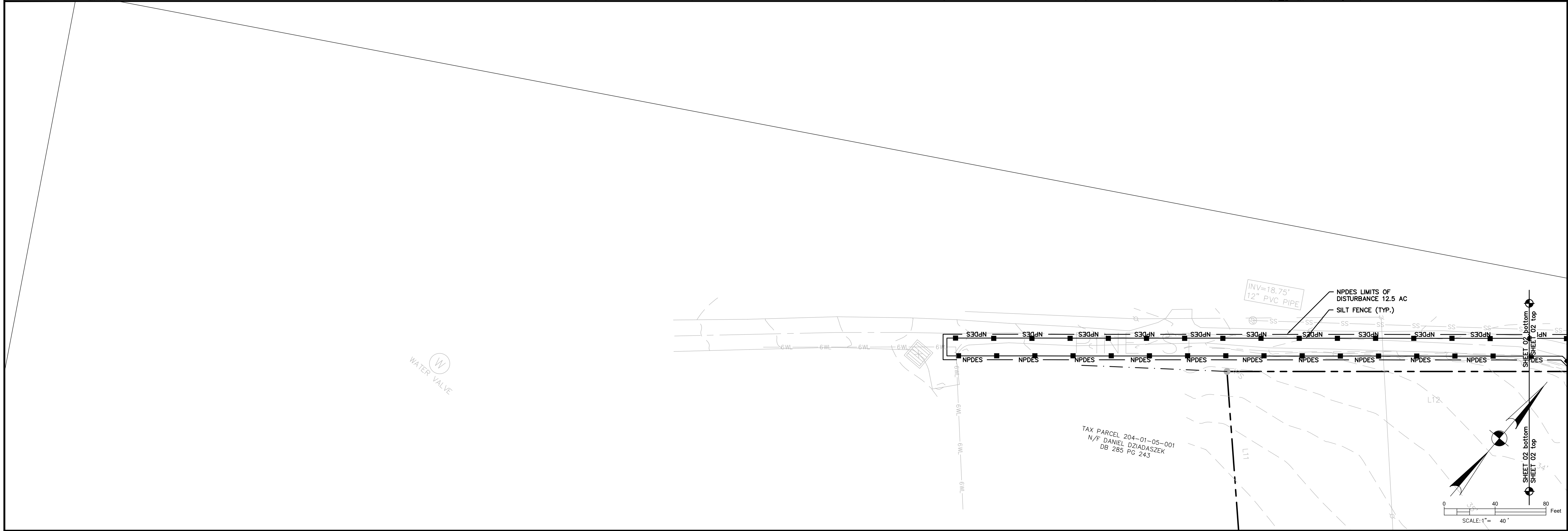
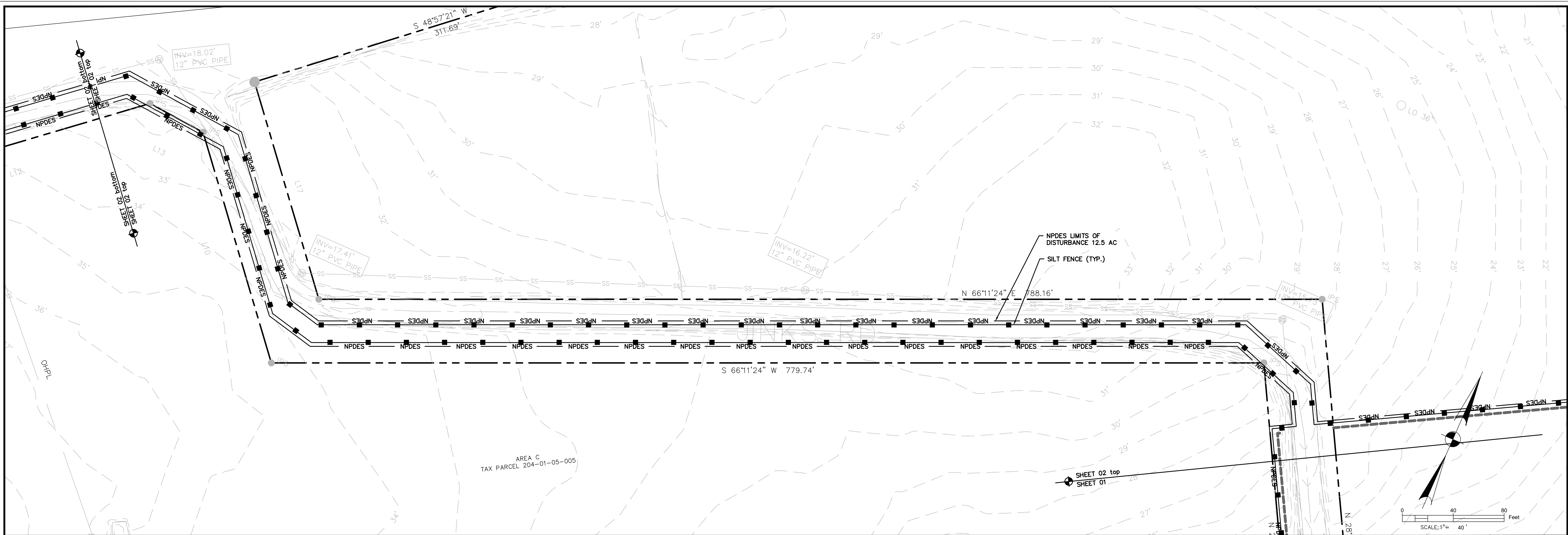
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PH (803) 837-5353 FAX (843) 837-2536
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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
INITIAL EROSION CONTROL PLAN

VERTICAL DATUM:
NAVD88

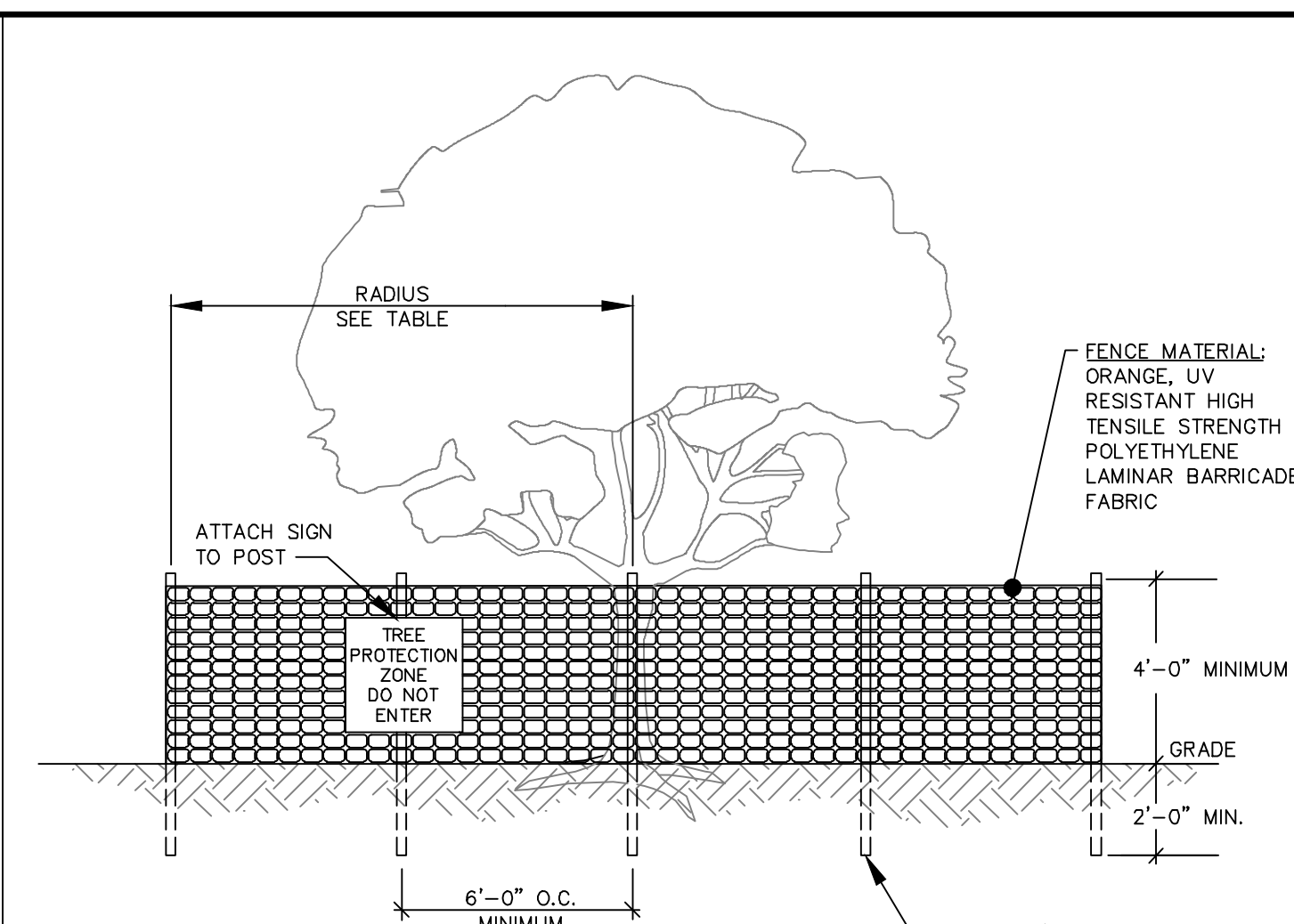
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NOTES:

- ALL TREES DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING.
- INSTALL TREE PROTECTION FENCE TO RADIUS INDICATED IN TABLE UNLESS OTHERWISE INDICATED ON PLANS.
- WARNING SIGNS TO BE MADE OF DURABLE WATERPROOF MATERIAL.
- ALL WARNING SIGN LETTERS TO BE AT LEAST 3 INCHES HIGH, CLEARLY LEGIBLE AND SPACED A MINIMUM OF ONE EVERY 40 FT. FOR PROTECTION AREAS LESS THAN 40 FT IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER SIDE.
- THE SIZE OF EACH WARNING SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE.
- ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
- THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
- TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. FENCING MUST REMAIN UPRIGHT AND SLACK FREE.

JURISDICTION	RADIUS OF CIRCULAR TPZ
BEAUFORT COUNTY BEAUFORT CO. DEV. CODE 5.11.100	1 FOOT PER INCH OF TRUNK DBH
TOWN OF BLUFFTON UDO 5.3.3	1.5 FEET PER INCH OF TRUNK DBH OR 10 FEET WHICHEVER IS GREATER
TOWN OF HILTON HEAD LMO 16-6-104, J-3A	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED
CITY OF BEAUFORT BEAUFORT CODE 5.3.3	0.5 FOOT PER INCH OF TRUNK DBH
JASPER COUNTY ZONING ORD. ART. 13.5	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED
TOWN OF PORT ROYAL PORT ROYAL CODE 5.7.70	1.5 FEET PER INCH OF TRUNK DBH OR 5 FEET WHICHEVER IS GREATER
CITY OF HARDEEVILLE MZ&DO 4.8, F-3	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED

DBH = TRUNK DIAMETER AT BREAST HEIGHT

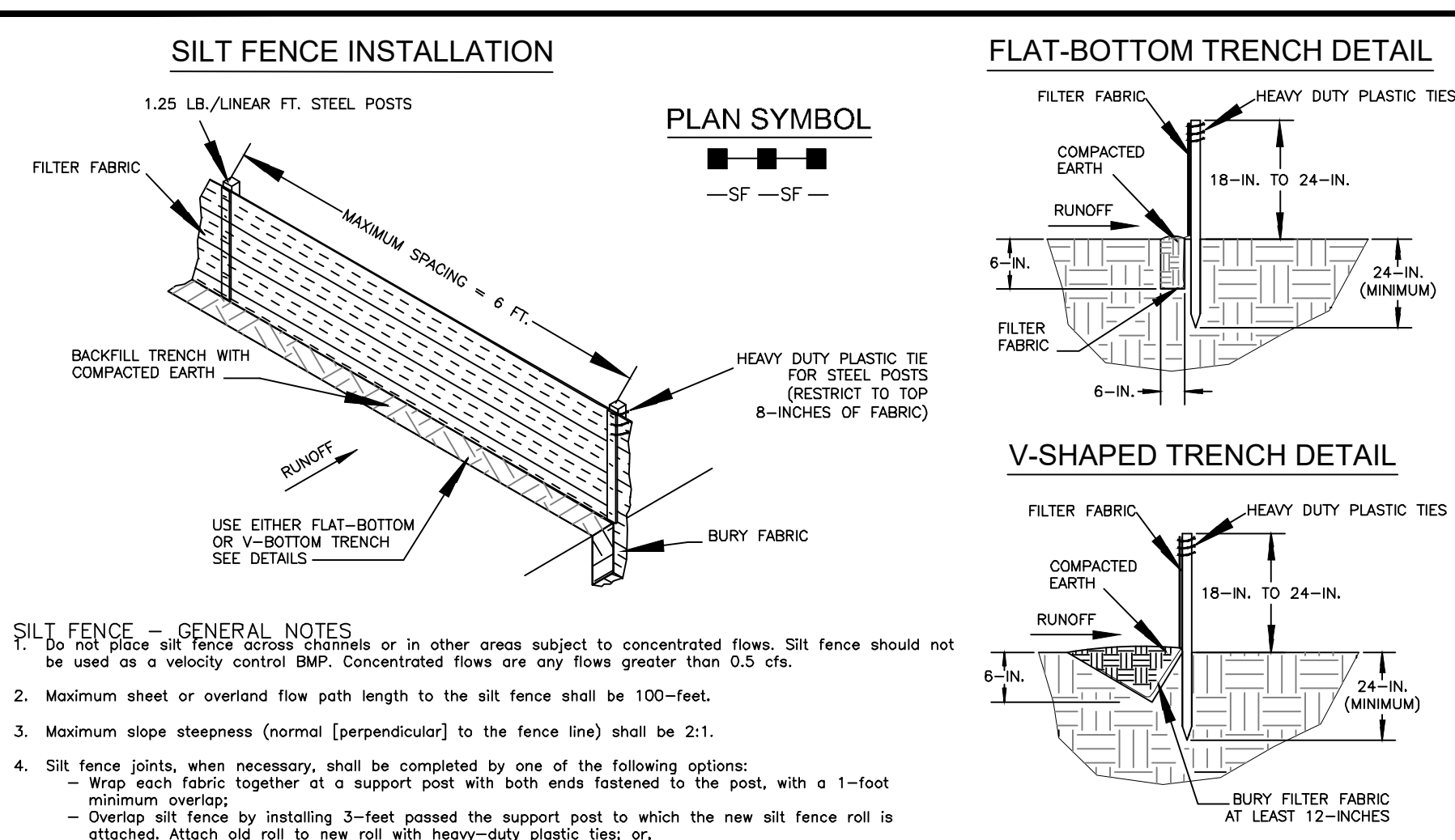
TREE PROTECTION FENCE

DETAIL #02915-008

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./ACRE)
ANIONIC ASPHALT EMULSION	7:1*	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

- *USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE.
- MAINTENANCE:**
- PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
 - SUPPLEMENT SURFACE COVERING AS NEEDED.
- INSTALLATION:**
- APPLY ACCORDING TO APPROVED PLAN.
 - MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL OR TERRATACK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
 - IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
 - COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
 - APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.
 - APPLY SPRAY-ON ADHESIVES TO MINERAL SOILS (NOT MUCK SOILS) AS DESCRIBED IN TABLE 1.

DC DUST CONTROL ON DISTURBED AREAS



SILT FENCE - GENERAL NOTES

- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanup.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 Page 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

- TYPE A - FILTER FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter fabric shall be installed at a minimum of 24-inches above the ground.
- TYPE A - POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%).
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2- inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 3-feet on center.

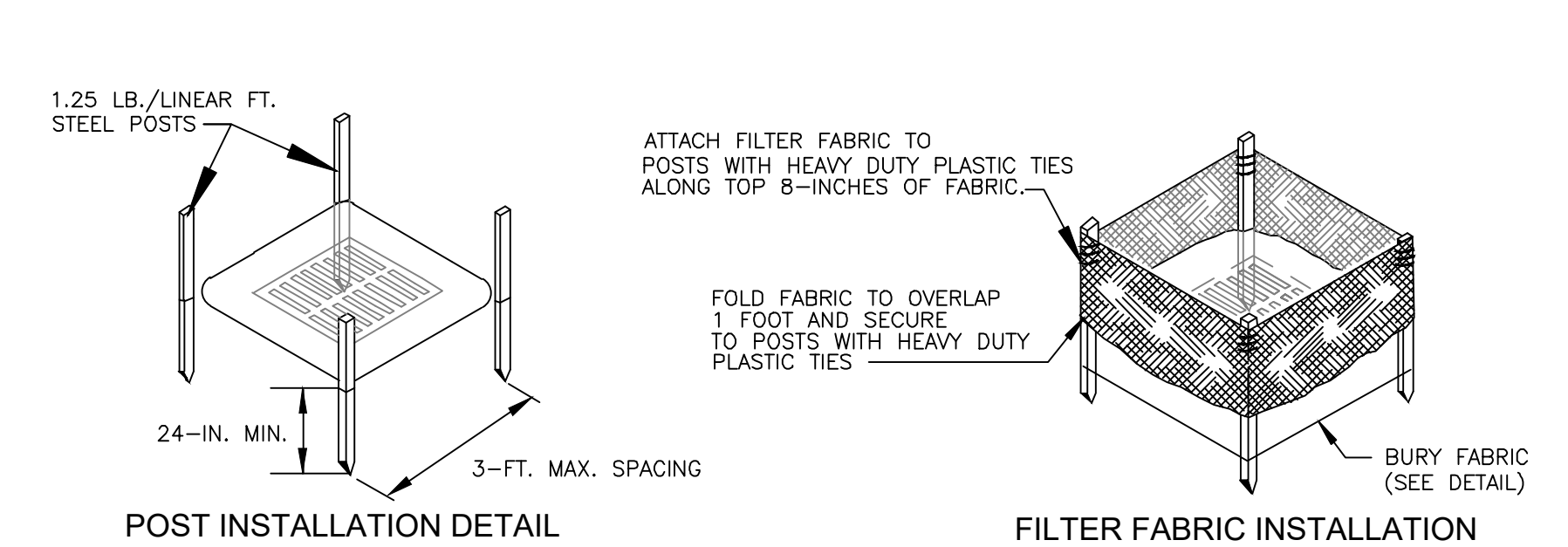
South Carolina Department of Health and Environmental Control

Type A FILTER FABRIC INLET PROTECTION

STANDARD DRAWING NO. SC-07 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE



South Carolina Department of Health and Environmental Control

Type A FILTER FABRIC INLET PROTECTION

STANDARD DRAWING NO. SC-07 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

- SILT FENCE - POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%).
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2- inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.
- SILT FENCE - FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter fabric shall be installed at a minimum of 24-inches above the ground.

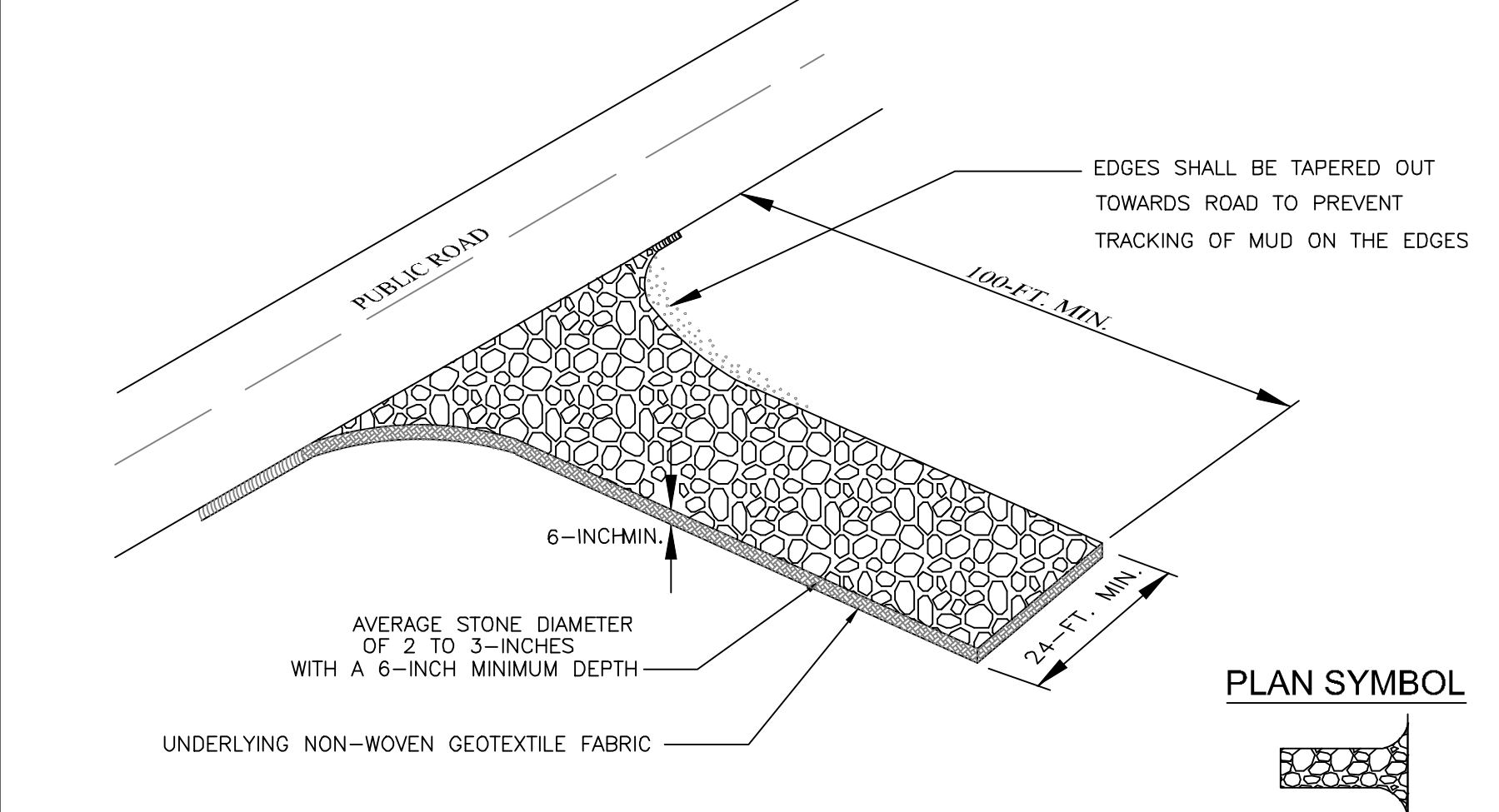
South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE



South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

- CONSTRUCTION ENTRANCE - GENERAL NOTES**
- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
 - Install a non-woven geotextile fabric prior to placing any stone.
 - Install a culvert pipe across the entrance when needed to provide positive drainage.
 - The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
 - Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
 - The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
 - Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
 - Limestone may not be used for the stone pad.
- CONSTR. ENTRANCE - INSPECTION & MAINTENANCE**
- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
 - Reshape the stone pad as necessary for drainage and runoff control.
 - Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
 - Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
 - During maintenance activities, any broken pavement should be repaired immediately.
 - Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE

Professional Engineer Seal for Ward Edwards, Inc. License No. 22816, State of South Carolina.

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Ward Edwards

ENGINEERING

P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
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WWW.WARDEDWARDS.COM

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA

RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA

INITIAL EROSION CONTROL DETAILS

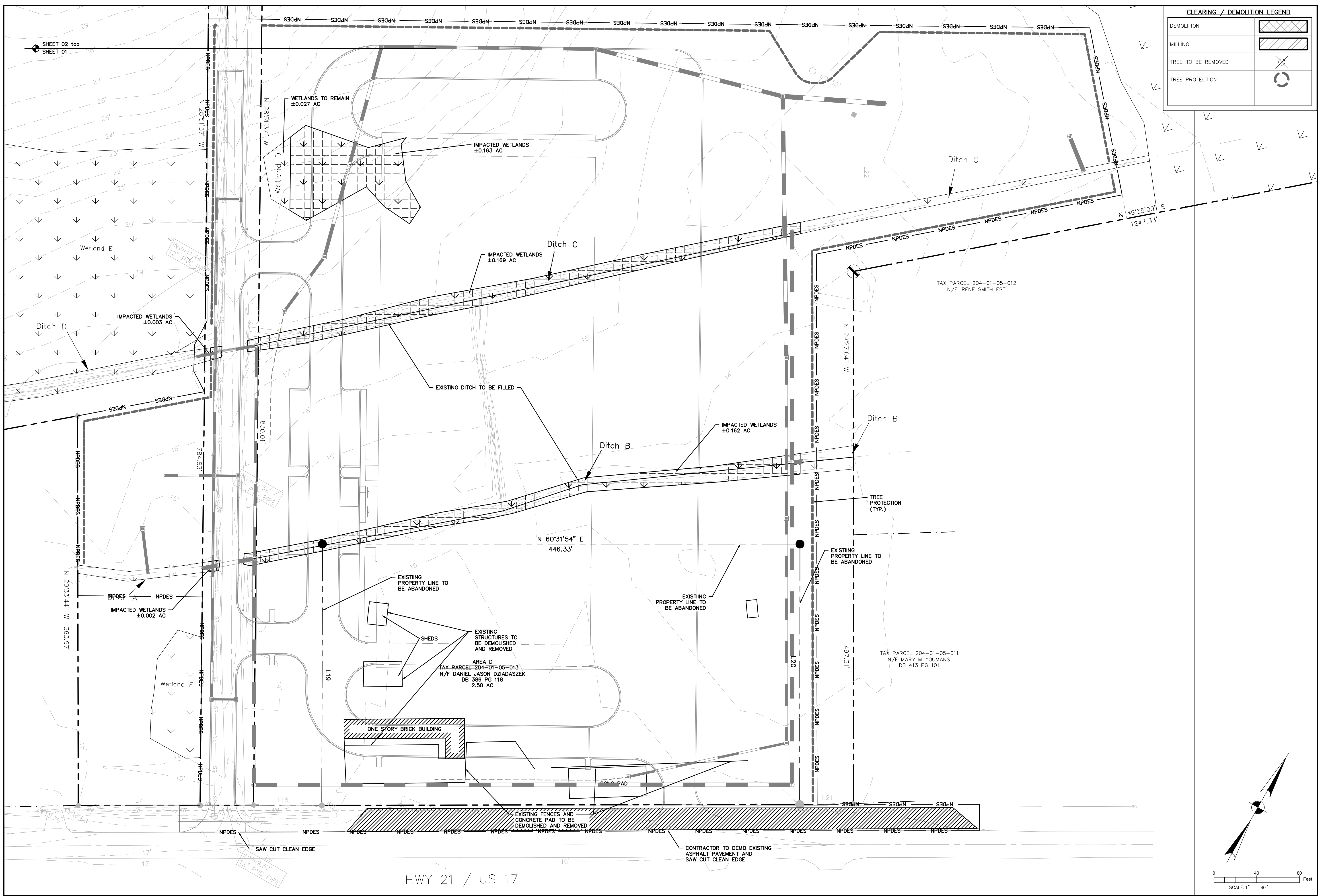
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PROJECT #: 210148
DATE: 12/29/22
DESIGNED BY: BMT
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CLEARING / DEMOLITION LEGEND

DEMOLITION	
MILLING	
TREE TO BE REMOVED	
TREE PROTECTION	

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 PH (803) 837-5353 FAX (843) 837-2536
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IRONLINE METALS
 TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
 TELL CITY, INDIANA
CLEARING & DEMOLITION PLAN

VERTICAL DATUM: NAVD88

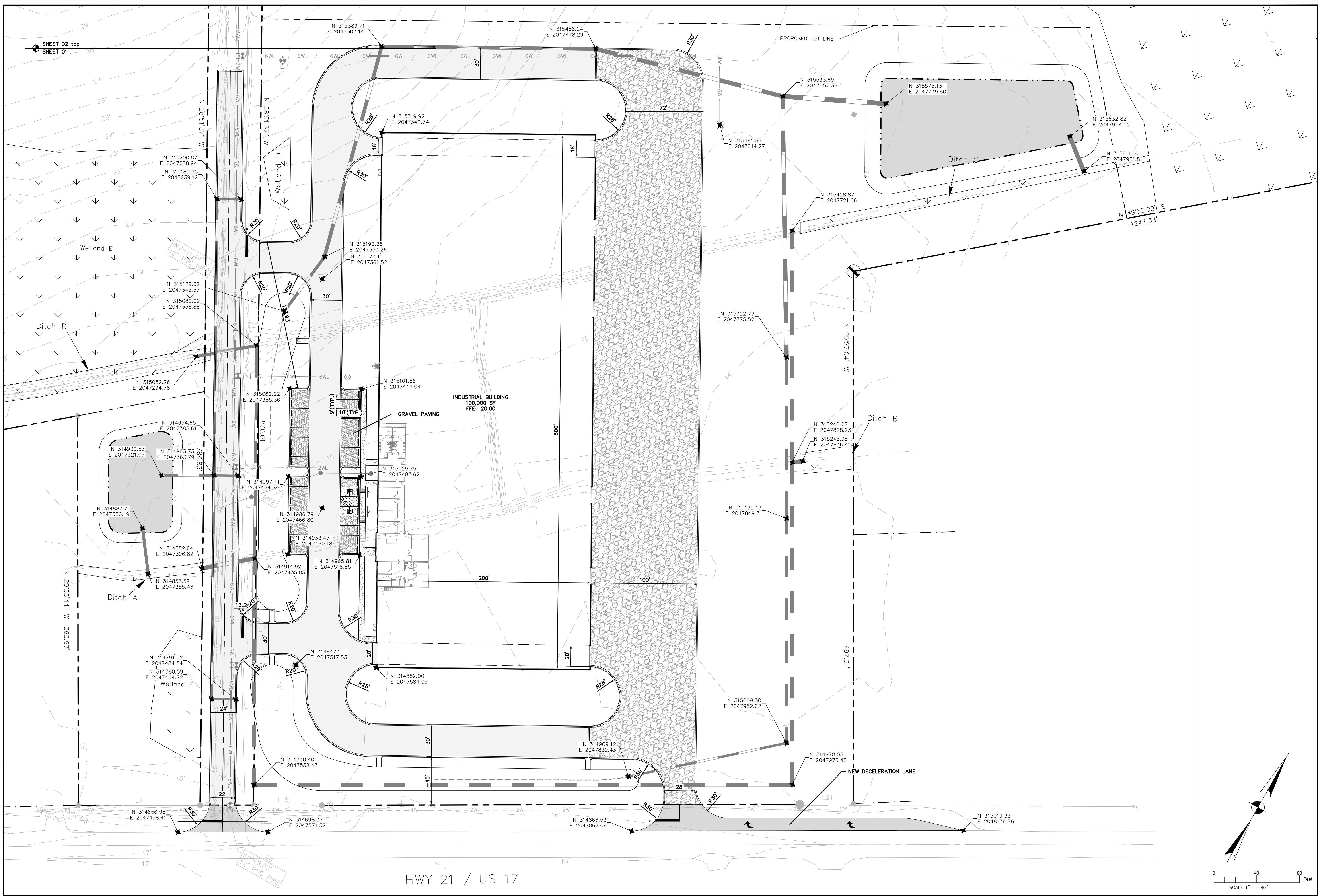
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CHECKED BY:	CPB

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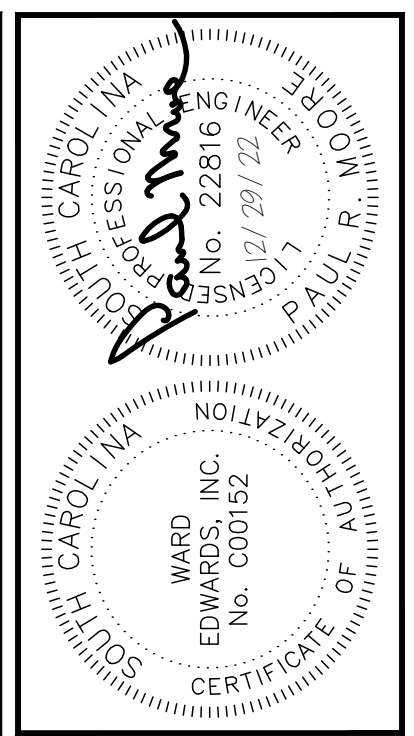
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SHEET 01



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Ward Edwards
ENGINEERING

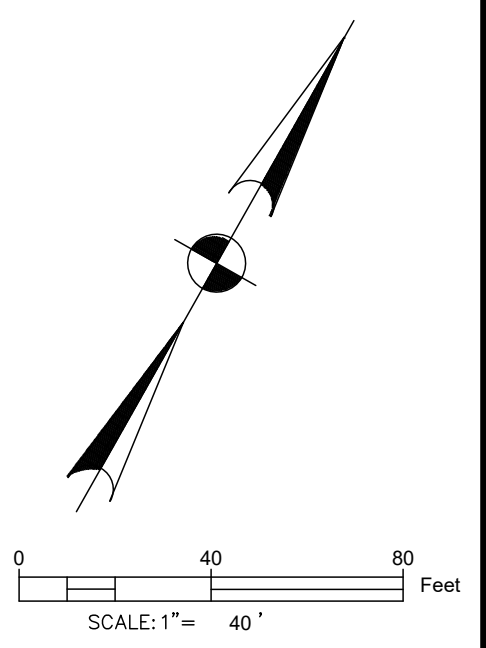
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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
SITE LAYOUT PLAN

VERTICAL DATUM:
NAVD88

PROJECT #: 2016.8
DATE: 12/29/22
DESIGNED BY: BMT
CHECKED BY: CPB

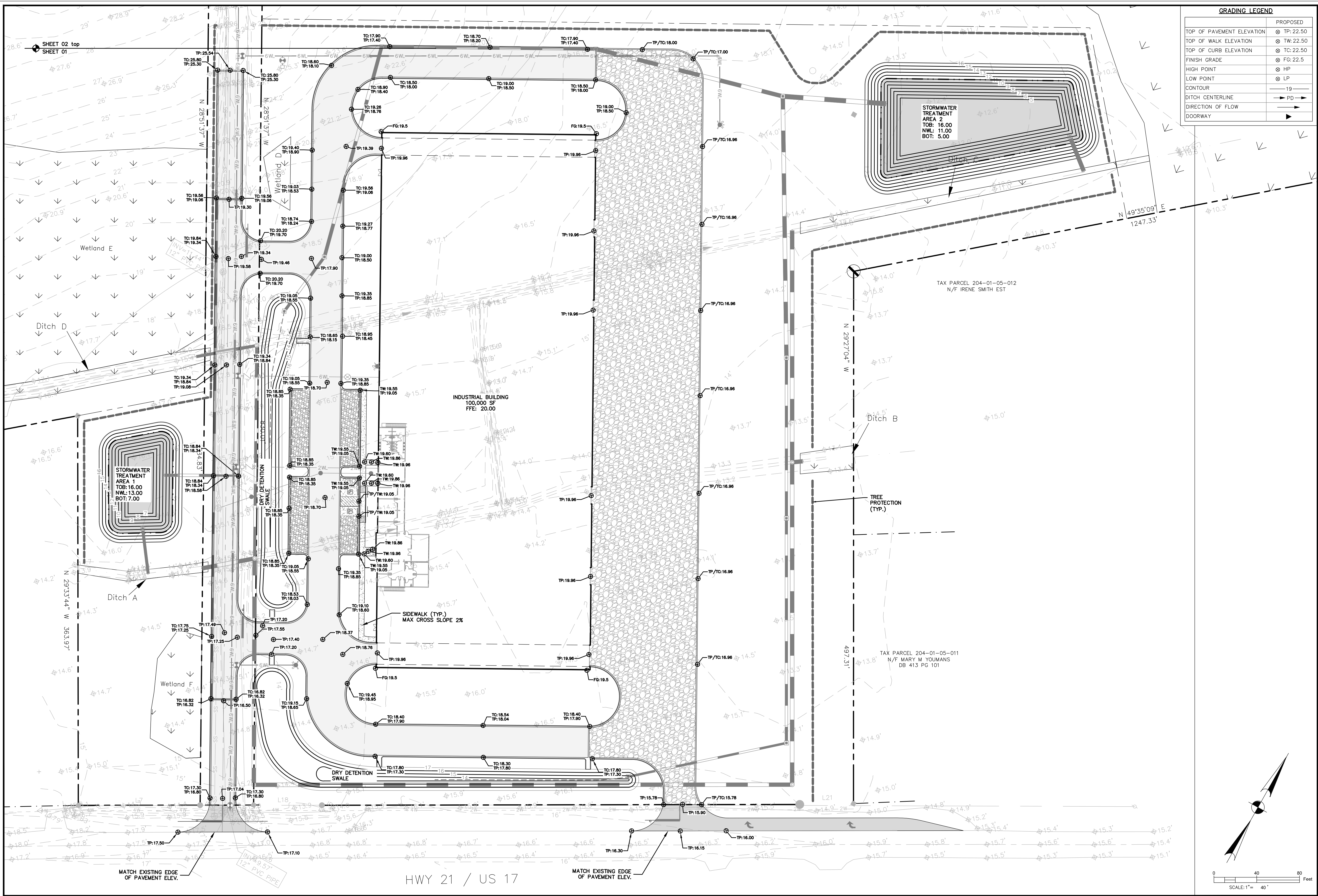
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GRADING LEGEND	
TOP OF PAVEMENT ELEVATION	⊗ TP: 22.50
TOP OF WALK ELEVATION	⊗ TW: 22.50
TOP OF CURB ELEVATION	⊗ TC: 22.50
FINISH GRADE	⊗ FG: 22.5
HIGH POINT	⊗ HP
LOW POINT	⊗ LP
CONTOUR	— 19 —
DITCH CENTERLINE	→ PD →
DIRECTION OF FLOW	→
DOORWAY	▶

Professional Engineer

WARD EDWARDS, INC.
No. 22816
No. 000152

CAROLINA PROFESSIONAL ENGINEERING BOARD
LICENSED PROFESSIONAL ENGINEER
CERTIFICATE OF REGISTRATION

NO.	DESCRIPTION	DATE
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Ward Edwards
ENGINEERING

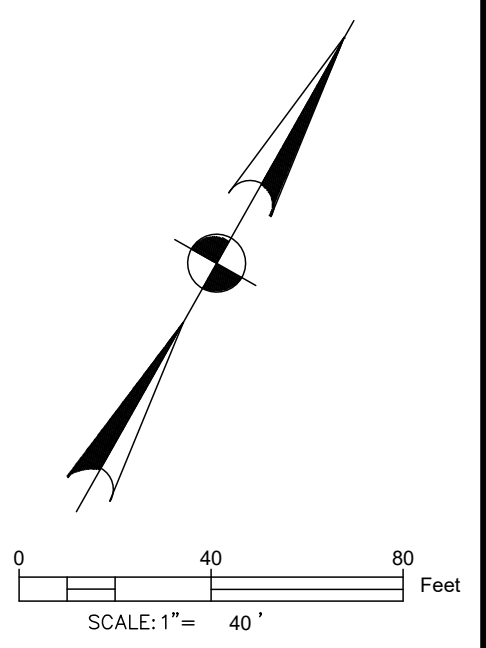
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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA

GRADING PLAN

VERTICAL DATUM:	NAVD88
PROJECT #:	210148
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

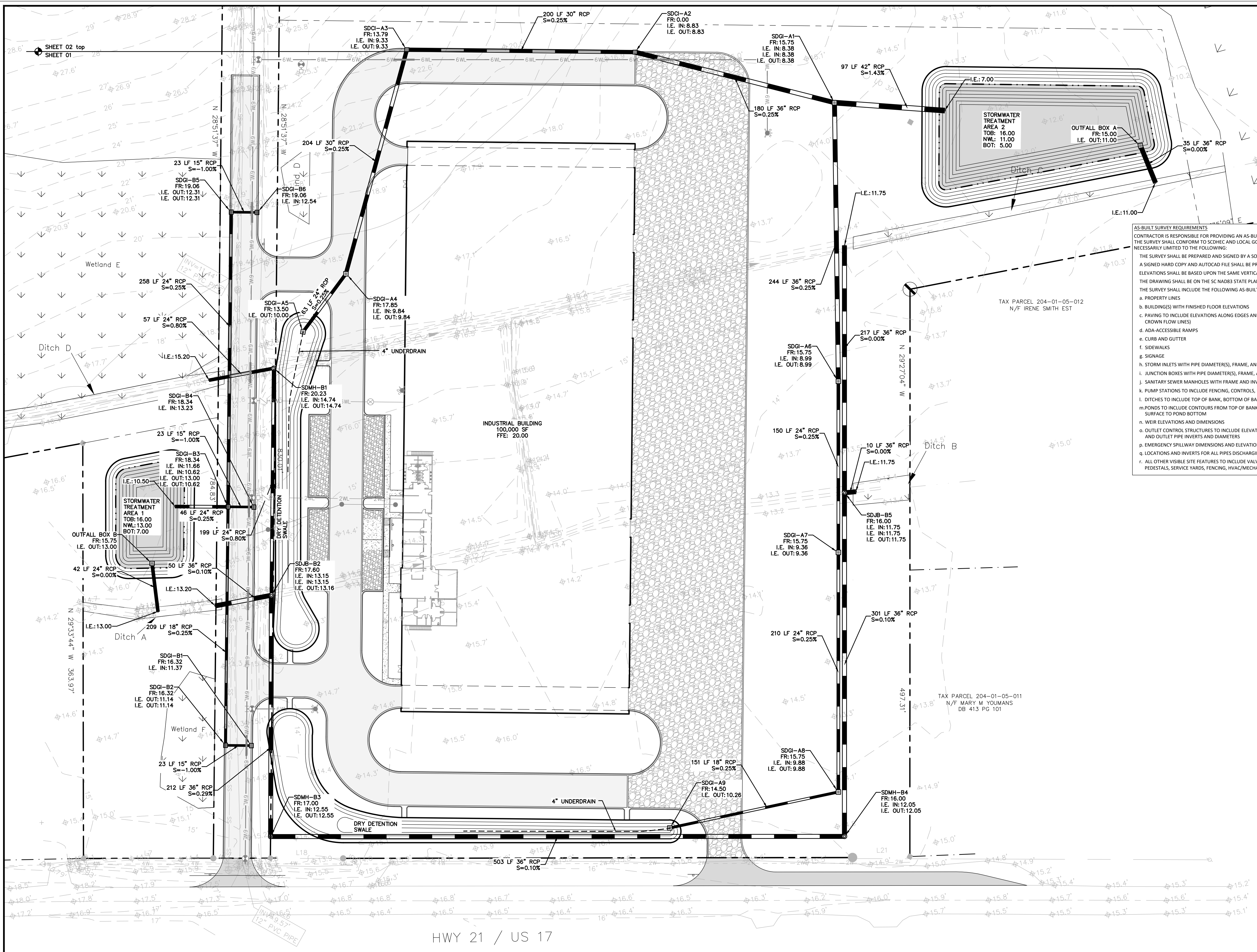
SHEET C501



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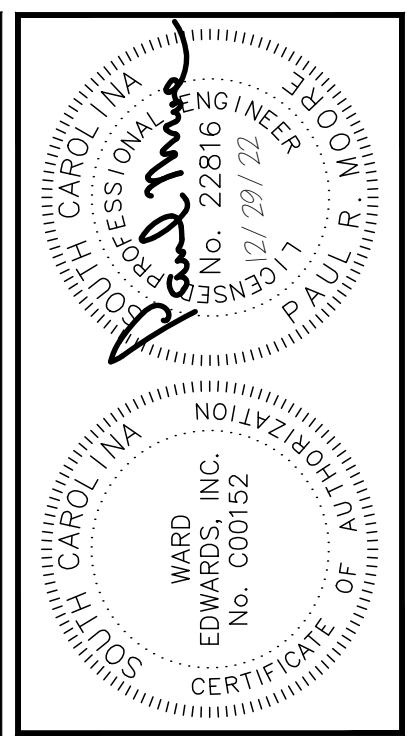
STORM SEWER/DRAINAGE LEGEND

PROPOSED	SYMBOL
DROP INLET	DI: A1
CURB INLET (WITH GRATE)	CI: A1
TYPE 16 CURB INLET	CI: A1
VALLEY GUTTER INLET	VI: A1
TRENCH DRAIN	TD: A1
WEIR INLET	WI: A1
YARD INLET	YI: A1
JUNCTION BOX	JB: A1
CLEANOUT	CO
DOWNSPOUT	
STORM DRAIN	
UNDERDRAIN	
ROOF DRAIN COLLECTOR	
FLARED END SECTION	
HEADWALL	
HEADWALL WITH WINGS	
OUTLET CONTROL STRUCTURE	
DITCH CENTERLINE	→ PD →
DIRECTION OF FLOW	→

AS-BUILT SURVEY REQUIREMENTS
 CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN AS-BUILT TOPOGRAPHIC SURVEY OF THE CONSTRUCTED PROJECT SITE. THE SURVEY SHALL CONFORM TO SCDHEC AND LOCAL GOVERNMENT AS-BUILT REQUIREMENTS INCLUDING, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

THE SURVEY SHALL BE PREPARED AND SIGNED BY A SOUTH CAROLINA LICENSED LAND SURVEYOR. A SIGNED HARD COPY AND AUTOCAD FILE SHALL BE PROVIDED TO THE ENGINEER. ELEVATIONS SHALL BE BASED UPON THE SAME VERTICAL DATUM USED IN THE ENGINEERING PLANS. THE DRAWING SHALL BE ON THE SC NAD83 STATE PLANE COORDINATE SYSTEM. THE SURVEY SHALL INCLUDE THE FOLLOWING AS-BUILT INFORMATION TO INCLUDE LOCATION AND ELEVATIONS:

- PROPERTY LINES
- BUILDING(S) WITH FINISHED FLOOR ELEVATIONS
- PAVING TO INCLUDE ELEVATIONS ALONG EDGES AND INTERNAL RIDGES AND VALLEYS (I.E. ROAD CROWNS, INVERTED CROWN FLOW LINES)
- ADA-ACCESSIBLE RAMPS
- CURB AND GUTTER
- SIDEWALKS
- SIGNAGE
- STORM INLETS WITH PIPE DIAMETER(S), FRAME, AND INVERT
- JUNCTION BOXES WITH PIPE DIAMETER(S), FRAME, AND INVERT
- SANITARY SEWER MANHOLES WITH FRAME AND INVERT
- PUMP STATIONS TO INCLUDE FENCING, CONTROLS, DRIVEWAY, WETWELL TOP/BOTTOM ELEVATIONS
- DITCHES TO INCLUDE TOP OF BANK, BOTTOM OF BANK, AND CENTERLINE
- PONDS TO INCLUDE CONTOURS FROM TOP OF BANK TO WATER SURFACE AND MEASURED DEPTH FROM WATER SURFACE TO POND BOTTOM
- WEIR ELEVATIONS AND DIMENSIONS
- OUTLET CONTROL STRUCTURES TO INCLUDE ELEVATIONS AND DIMENSIONS OF ALL RISERS, GRATES, ORIFICES, WEIRS, AND OUTLET PIPE INVERTS AND DIAMETERS
- EMERGENCY SPILLWAY DIMENSIONS AND ELEVATIONS
- LOCATIONS AND INVERTS FOR ALL PIPES DISCHARGING INTO THE POND
- ALL OTHER VISIBLE SITE FEATURES TO INCLUDE VALVES, FDCS, HYDRANTS, TRANSFORMERS, LIGHT POLES, CLEAN-OUTS, PEDESTALS, SERVICE YARDS, FENCING, HVAC/MECHANICAL DEVICES, AND BOLLARDS.



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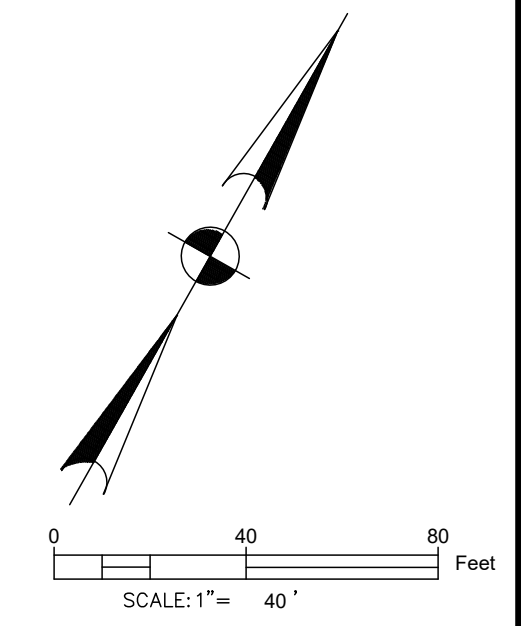
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 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
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 WWW.WARDEDWARDS.COM

IRONLINE METALS
 TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
 TELL CITY, INDIANA
DRAINAGE PLAN

VERTICAL DATUM:
NAVD88

PROJECT #: 210148
 DATE: 12/29/22
 DESIGNED BY: BMT
 CHECKED BY: CPB

SHEET C601

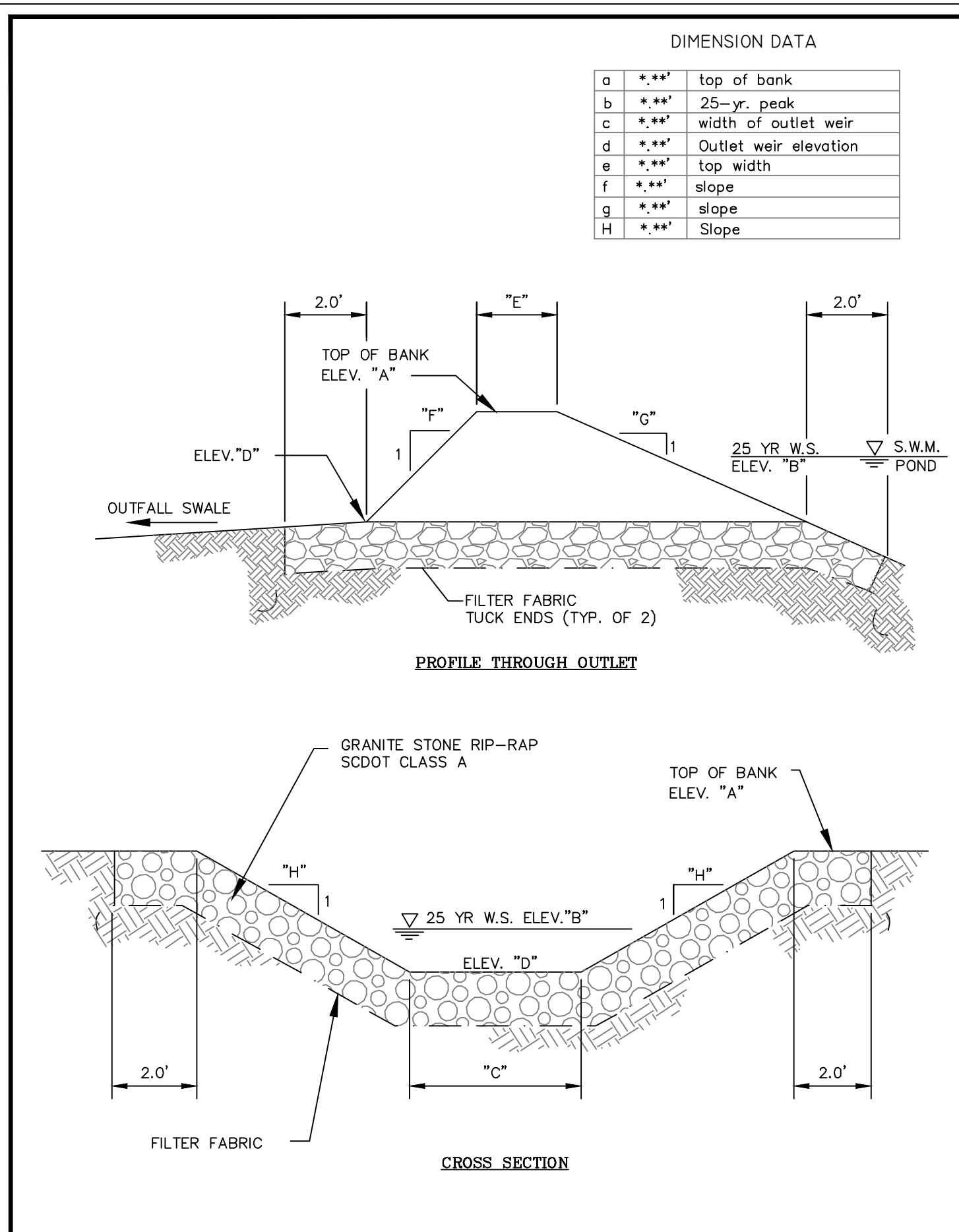


HWY 21 / US 17

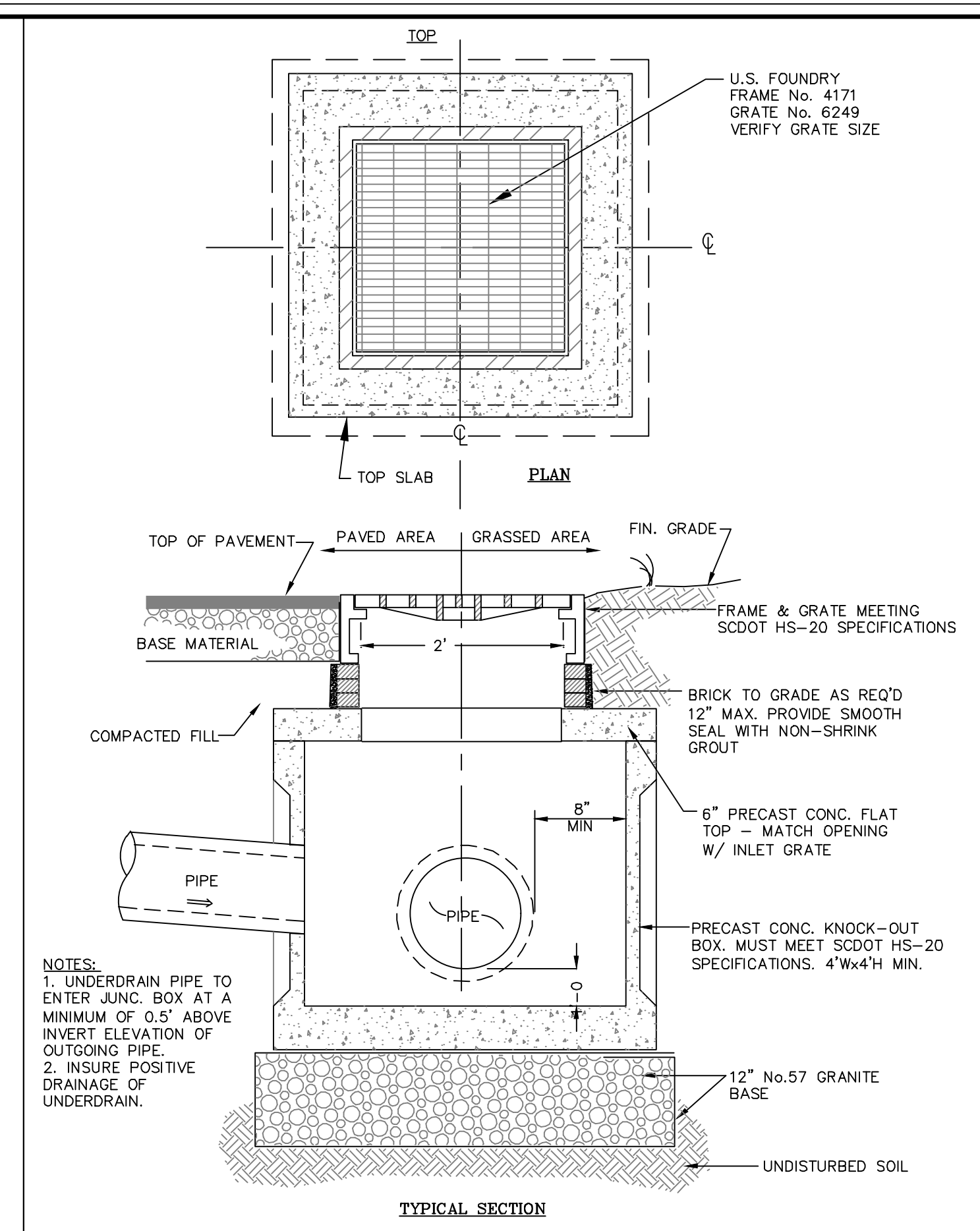
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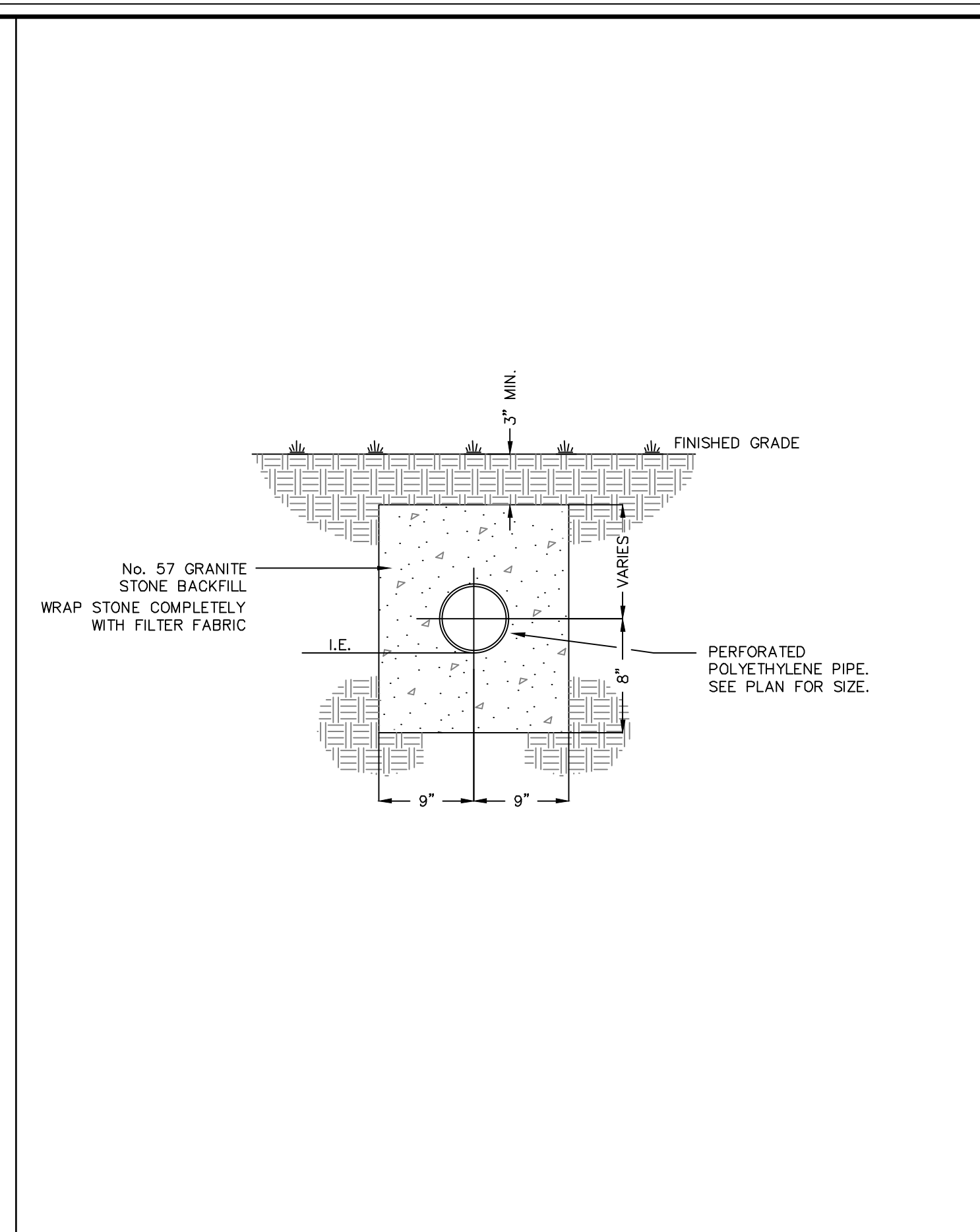
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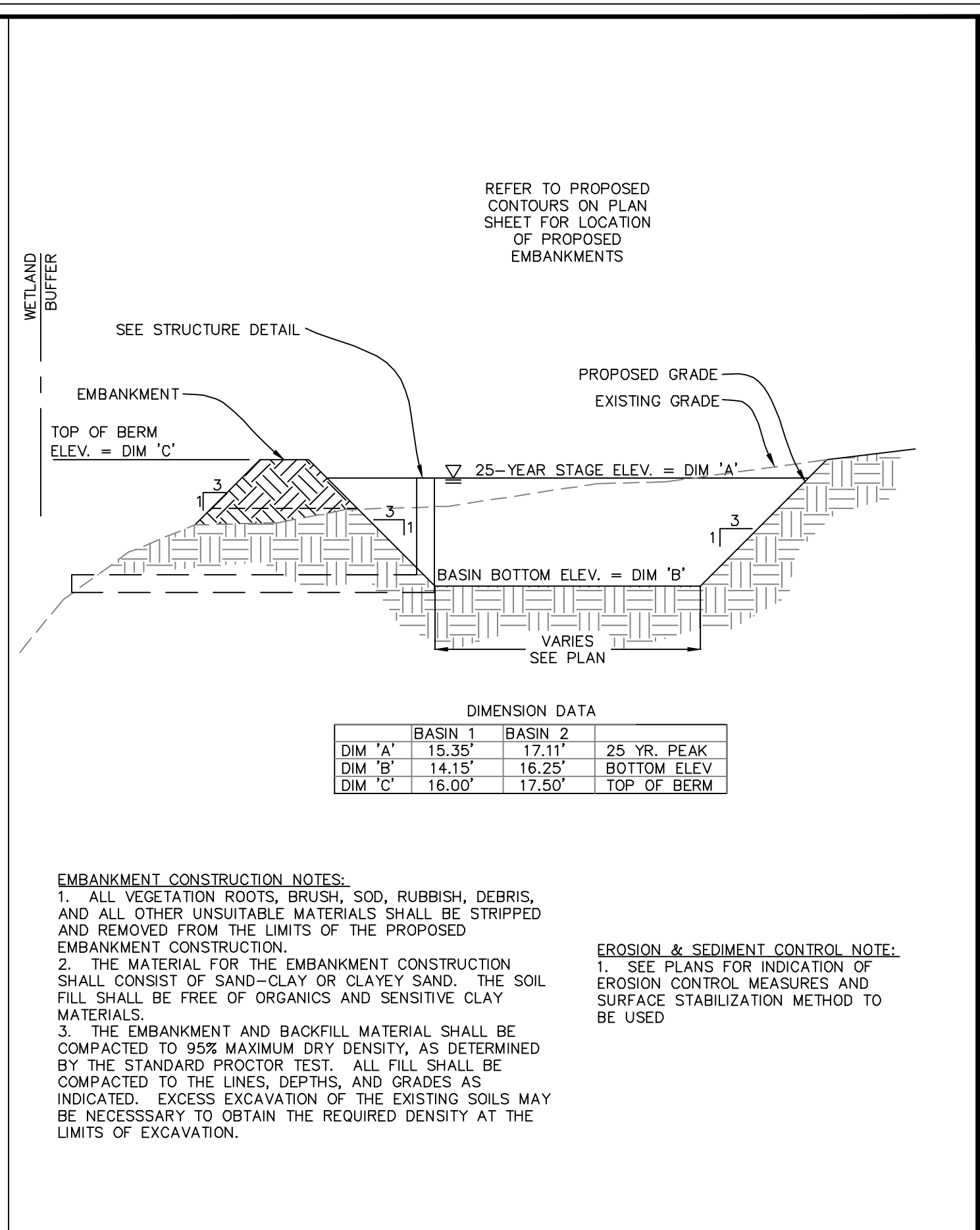
POND SPILLWAY DETAILS
DETAIL 02660-003



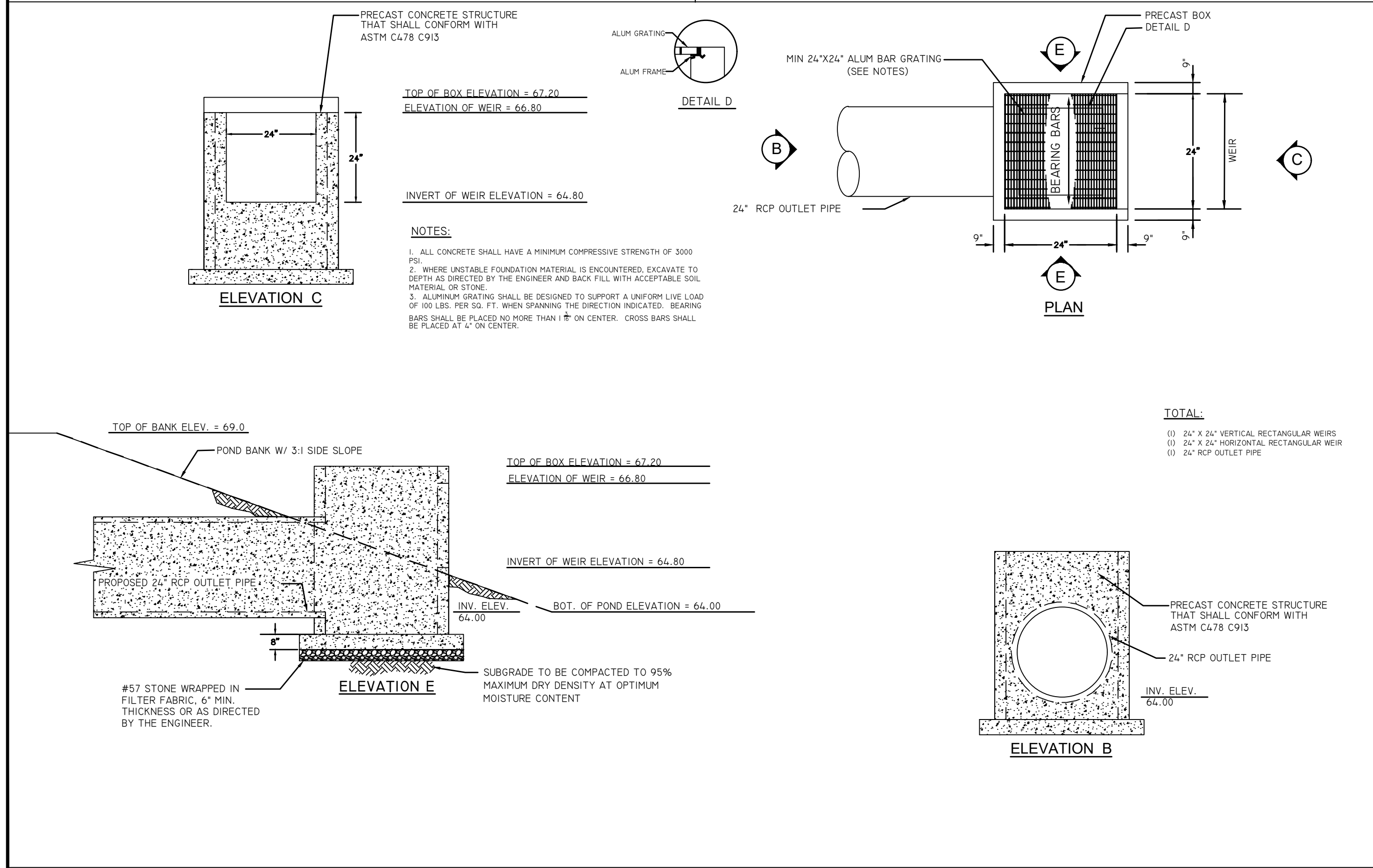
GRATE INLET
DETAIL 02630-027



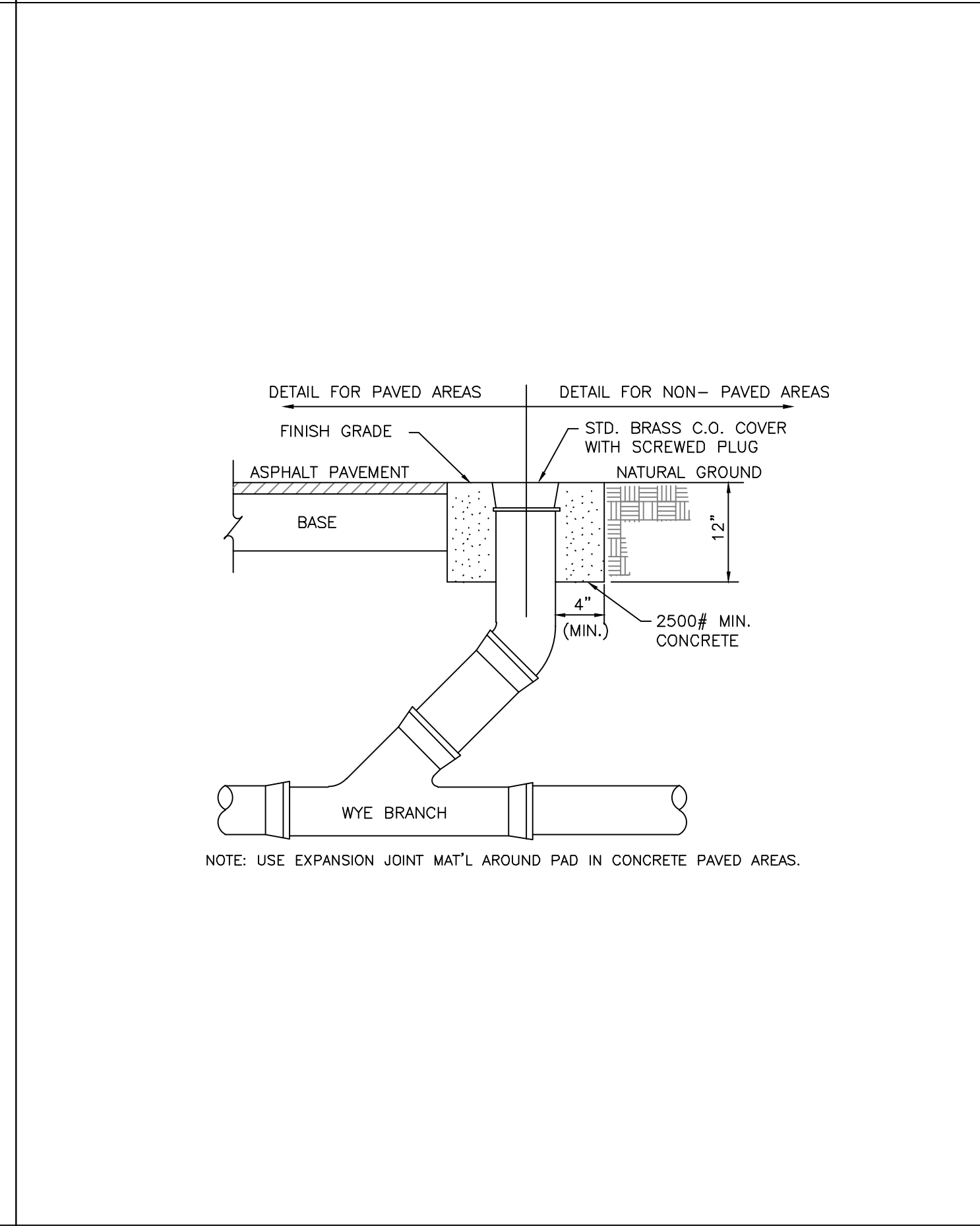
SUBGRADE DRAIN
DETAIL 02630-014



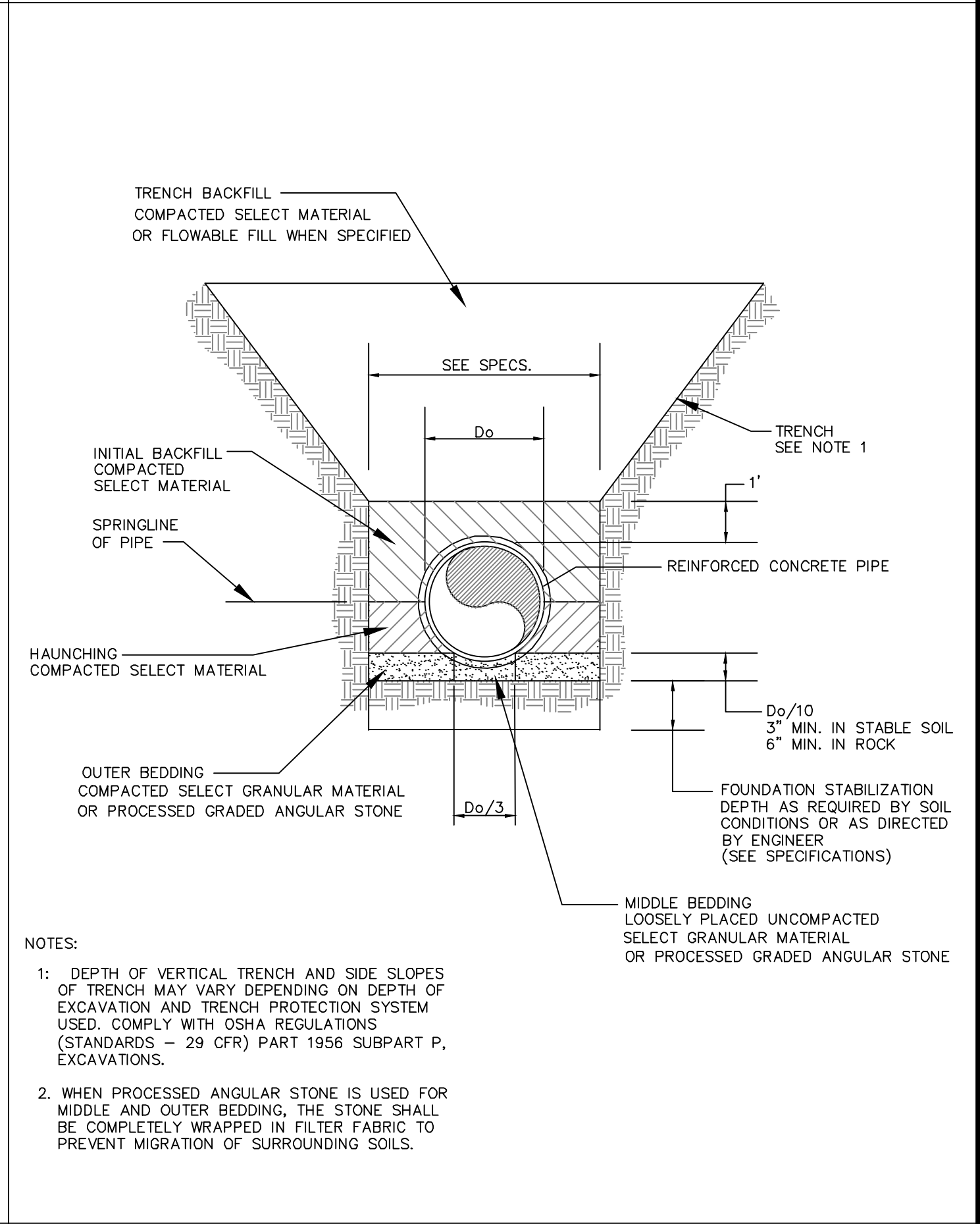
DRY DETENTION BASIN CROSS SECTION
DETAIL 02630-033



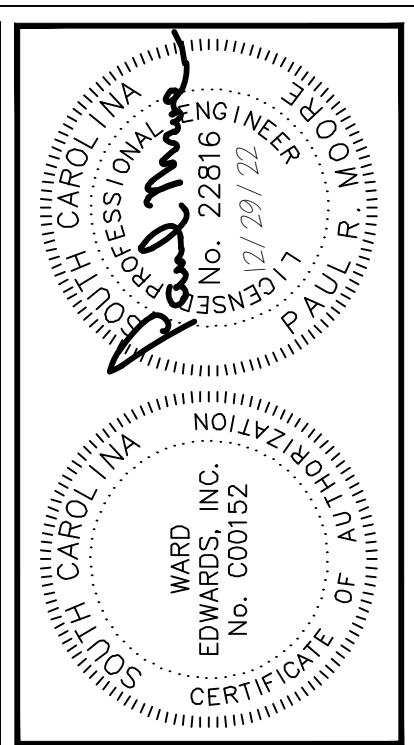
OUTLET CONTROL STRUCTURE # - POND #
DETAIL 02630-031



CLEANOUT DETAIL



EMBEDMENT DETAIL FOR REINFORCED CONCRETE PIPE



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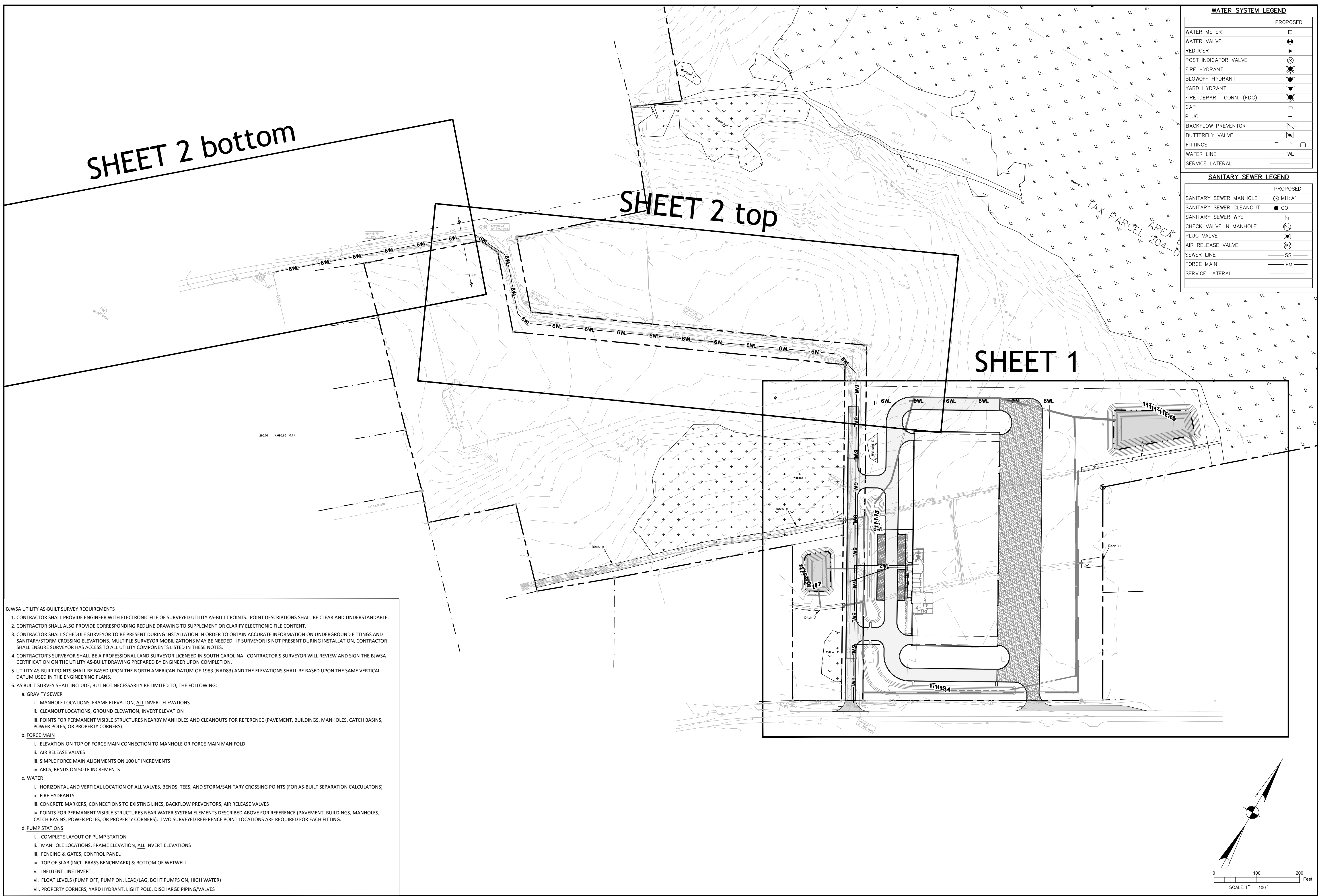
IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
DRAINAGE DETAILS

VERTICAL DATUM:	NAVD88
PROJECT #:	210168
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

SHEET C602

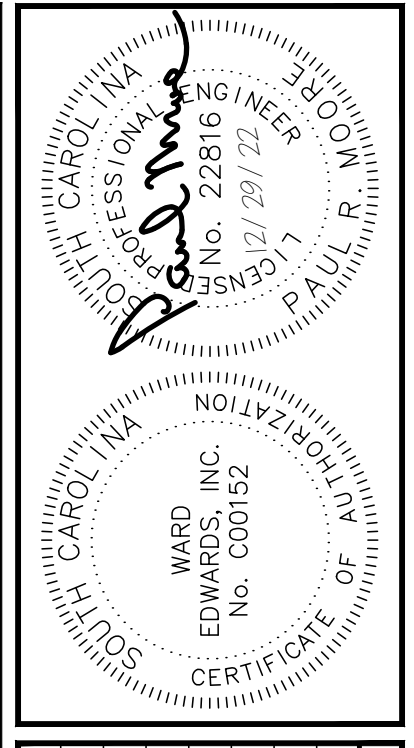
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WATER SYSTEM LEGEND	
	PROPOSED
WATER METER	□
WATER VALVE	○
REDUCER	▽
POST INDICATOR VALVE	⊗
FIRE HYDRANT	⊕
BLOWOFF HYDRANT	⊕
YARD HYDRANT	⊕
FIRE DEPART. CONN. (FDC)	⊕
CAP	□
PLUG	□
BACKFLOW PREVENTOR	⊕
BUTTERFLY VALVE	⊕
FITTINGS	⊕
WATER LINE	WL
SERVICE LATERAL	

SANITARY SEWER LEGEND	
	PROPOSED
SANITARY SEWER MANHOLE	⊕ MH: A1
SANITARY SEWER CLEANOUT	● CO
SANITARY SEWER WYE	⊕
CHECK VALVE IN MANHOLE	⊕
PLUG VALVE	⊕
AIR RELEASE VALVE	⊕
SEWER LINE	SS
FORCE MAIN	FM
SERVICE LATERAL	



PLAN REVISIONS		
NO.	DESCRIPTION	DATE
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ENGINEERING

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WWW.WARDEDWARDS.COM

- BIWSA UTILITY AS-BUILT SURVEY REQUIREMENTS**
- CONTRACTOR SHALL PROVIDE ENGINEER WITH ELECTRONIC FILE OF SURVEYED UTILITY AS-BUILT POINTS. POINT DESCRIPTIONS SHALL BE CLEAR AND UNDERSTANDABLE.
 - CONTRACTOR SHALL ALSO PROVIDE CORRESPONDING REDLINE DRAWING TO SUPPLEMENT OR CLARIFY ELECTRONIC FILE CONTENT.
 - CONTRACTOR SHALL SCHEDULE SURVEYOR TO BE PRESENT DURING INSTALLATION IN ORDER TO OBTAIN ACCURATE INFORMATION ON UNDERGROUND FITTINGS AND SANITARY/STORM CROSSING ELEVATIONS. MULTIPLE SURVEYOR MOBILIZATIONS MAY BE NEEDED. IF SURVEYOR IS NOT PRESENT DURING INSTALLATION, CONTRACTOR SHALL ENSURE SURVEYOR HAS ACCESS TO ALL UTILITY COMPONENTS LISTED IN THESE NOTES.
 - CONTRACTOR'S SURVEYOR SHALL BE A PROFESSIONAL LAND SURVEYOR LICENSED IN SOUTH CAROLINA. CONTRACTOR'S SURVEYOR WILL REVIEW AND SIGN THE BIWSA CERTIFICATION ON THE UTILITY AS-BUILT DRAWING PREPARED BY ENGINEER UPON COMPLETION.
 - UTILITY AS-BUILT POINTS SHALL BE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE ELEVATIONS SHALL BE BASED UPON THE SAME VERTICAL DATUM USED IN THE ENGINEERING PLANS.
 - AS BUILT SURVEY SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO, THE FOLLOWING:
 - GRAVITY SEWER**
 - MANHOLE LOCATIONS, FRAME ELEVATION, ALL INVERT ELEVATIONS
 - CLEANOUT LOCATIONS, GROUND ELEVATION, INVERT ELEVATION
 - POINTS FOR PERMANENT VISIBLE STRUCTURES NEARBY MANHOLES AND CLEANOUTS FOR REFERENCE (PAVEMENT, BUILDINGS, MANHOLES, CATCH BASINS, POWER POLES, OR PROPERTY CORNERS)
 - FORCE MAIN**
 - ELEVATION ON TOP OF FORCE MAIN CONNECTION TO MANHOLE OR FORCE MAIN MANIFOLD
 - AIR RELEASE VALVES
 - SIMPLE FORCE MAIN ALIGNMENTS ON 100 LF INCREMENTS
 - ARCS, BENDS ON 50 LF INCREMENTS
 - WATER**
 - HORIZONTAL AND VERTICAL LOCATION OF ALL VALVES, BENDS, TEES, AND STORM/SANITARY CROSSING POINTS (FOR AS-BUILT SEPARATION CALCULATIONS)
 - FIRE HYDRANTS
 - CONCRETE MARKERS, CONNECTIONS TO EXISTING LINES, BACKFLOW PREVENTORS, AIR RELEASE VALVES
 - POINTS FOR PERMANENT VISIBLE STRUCTURES NEAR WATER SYSTEM ELEMENTS DESCRIBED ABOVE FOR REFERENCE (PAVEMENT, BUILDINGS, MANHOLES, CATCH BASINS, POWER POLES, OR PROPERTY CORNERS). TWO SURVEYED REFERENCE POINT LOCATIONS ARE REQUIRED FOR EACH FITTING.
 - PUMP STATIONS**
 - COMPLETE LAYOUT OF PUMP STATION
 - MANHOLE LOCATIONS, FRAME ELEVATION, ALL INVERT ELEVATIONS
 - FENCING & GATES, CONTROL PANEL
 - TOP OF SLAB (INCL. BRASS BENCHMARK) & BOTTOM OF WETWELL
 - INFLUENT LINE INVERT
 - FLOAT LEVELS (PUMP OFF, PUMP ON, LEAD/LAG, BOHT PUMPS ON, HIGH WATER)
 - PROPERTY CORNERS, YARD HYDRANT, LIGHT POLE, DISCHARGE PIPING/VALVES

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA

RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA

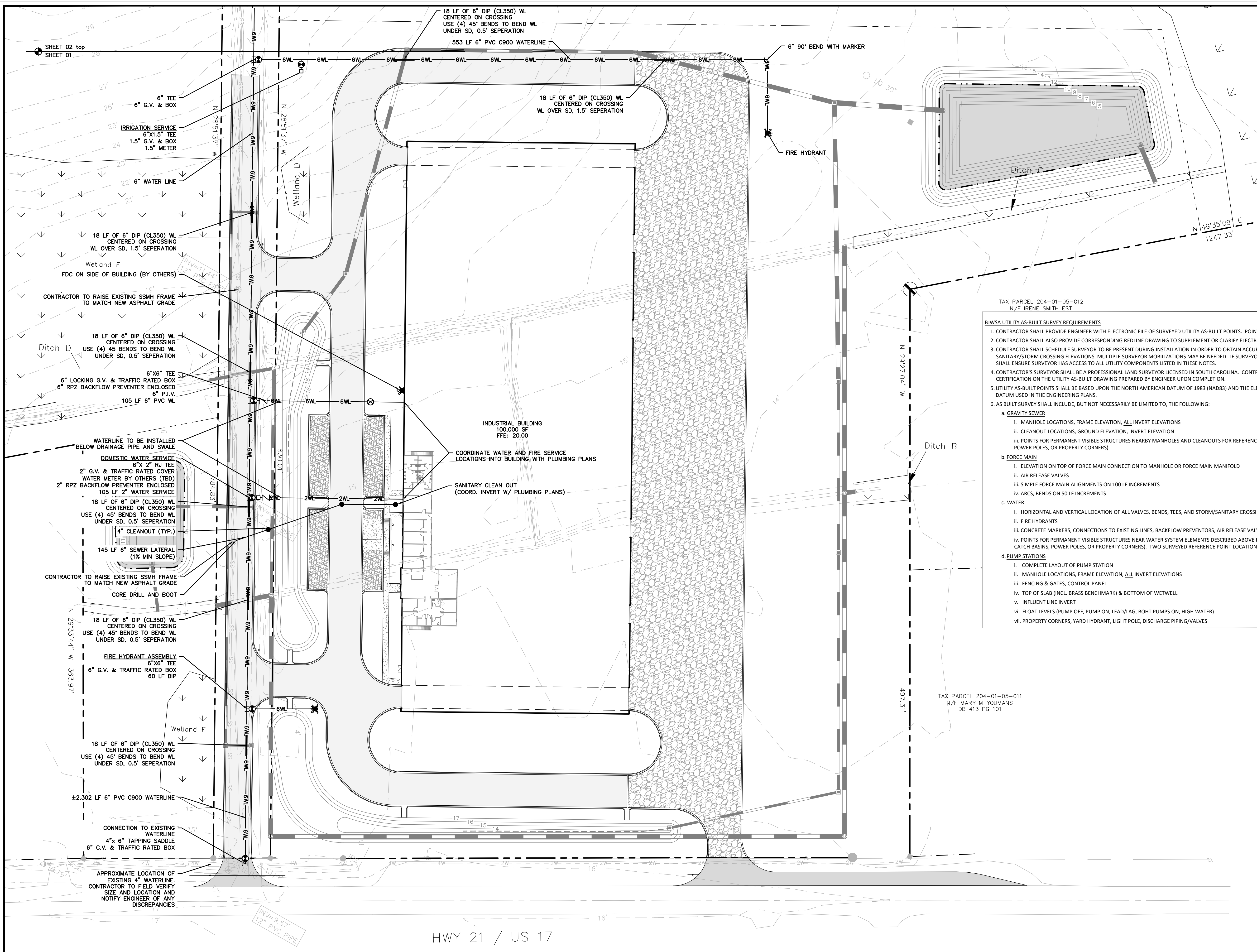
OVERALL UTILITY PLAN

VERTICAL DATUM:	NAVD88
PROJECT #:	210148
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB
SHEET C700	

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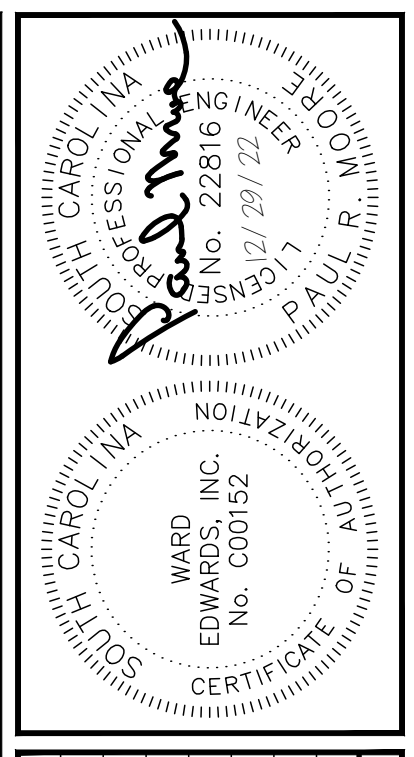
WATER SYSTEM LEGEND

PROPOSED	PROPOSED
WATER METER	□
WATER VALVE	○
REDUCER	▽
POST INDICATOR VALVE	⊗
FIRE HYDRANT	⊙
BLOWOFF HYDRANT	⊙
YARD HYDRANT	⊙
FIRE DEPART. CONN. (FDC)	⊙
CAP	⊖
PLUG	⊖
BACKFLOW PREVENTOR	⊖
BUTTERFLY VALVE	⊖
FITTINGS	⊖
WATER LINE	WL
SERVICE LATERAL	SL

SANITARY SEWER LEGEND

PROPOSED	PROPOSED
SANITARY SEWER MANHOLE	⊙ MH: A1
SANITARY SEWER CLEANOUT	⊙ CO
SANITARY SEWER WYE	⊙
CHECK VALVE IN MANHOLE	⊙
PLUG VALVE	⊙
AIR RELEASE VALVE	⊙
SEWER LINE	SS
FORCE MAIN	FM
SERVICE LATERAL	SL

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 - GRAVITY SEWER**
 - MANHOLE LOCATIONS, FRAME ELEVATION, ALL INVERT ELEVATIONS
 - CLEANOUT LOCATIONS, GROUND ELEVATION, INVERT ELEVATION
 - POINTS FOR PERMANENT VISIBLE STRUCTURES NEARBY MANHOLES AND CLEANOUTS FOR REFERENCE (PAVEMENT, BUILDINGS, MANHOLES, CATCH BASINS, POWER POLES, OR PROPERTY CORNERS)
 - FORCE MAIN**
 - ELEVATION ON TOP OF FORCE MAIN CONNECTION TO MANHOLE OR FORCE MAIN MANIFOLD
 - AIR RELEASE VALVES
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 - ARCS, BENDS ON 50 LF INCREMENTS
 - WATER**
 - HORIZONTAL AND VERTICAL LOCATION OF ALL VALVES, BENDS, TEES, AND STORM/SANITARY CROSSING POINTS (FOR AS-BUILT SEPARATION CALCULATIONS)
 - FIRE HYDRANTS
 - CONCRETE MARKERS, CONNECTIONS TO EXISTING LINES, BACKFLOW PREVENTORS, AIR RELEASE VALVES
 - POINTS FOR PERMANENT VISIBLE STRUCTURES NEAR WATER SYSTEM ELEMENTS DESCRIBED ABOVE FOR REFERENCE (PAVEMENT, BUILDINGS, MANHOLES, CATCH BASINS, POWER POLES, OR PROPERTY CORNERS). TWO SURVEYED REFERENCE POINT LOCATIONS ARE REQUIRED FOR EACH FITTING.
 - PUMP STATIONS**
 - COMPLETE LAYOUT OF PUMP STATION
 - MANHOLE LOCATIONS, FRAME ELEVATION, ALL INVERT ELEVATIONS
 - FENCING & GATES, CONTROL PANEL
 - TOP OF SLAB (INCL. BRASS BENCHMARK) & BOTTOM OF WETWELL
 - INFLUENT LINE INVERT
 - FLOAT LEVELS (PUMP OFF, PUMP ON, LEAD/LAG, BOHT PUMPS ON, HIGH WATER)
 - PROPERTY CORNERS, YARD HYDRANT, LIGHT POLE, DISCHARGE PIPING/VALVES



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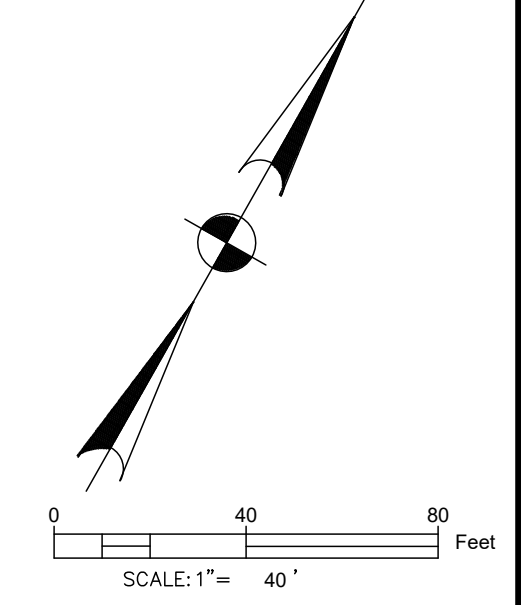
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P.O. BOX 381, BLUEFORD, SOUTH CAROLINA 29910
PH (803) 837-5555 FAX (803) 837-2536
WWW.WARDEDWARDS.COM

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
UTILITY PLAN

VERTICAL DATUM:
NAVD88

PROJECT #: 210148
DATE: 12/29/22
DESIGNED BY: BMT
CHECKED BY: CPB

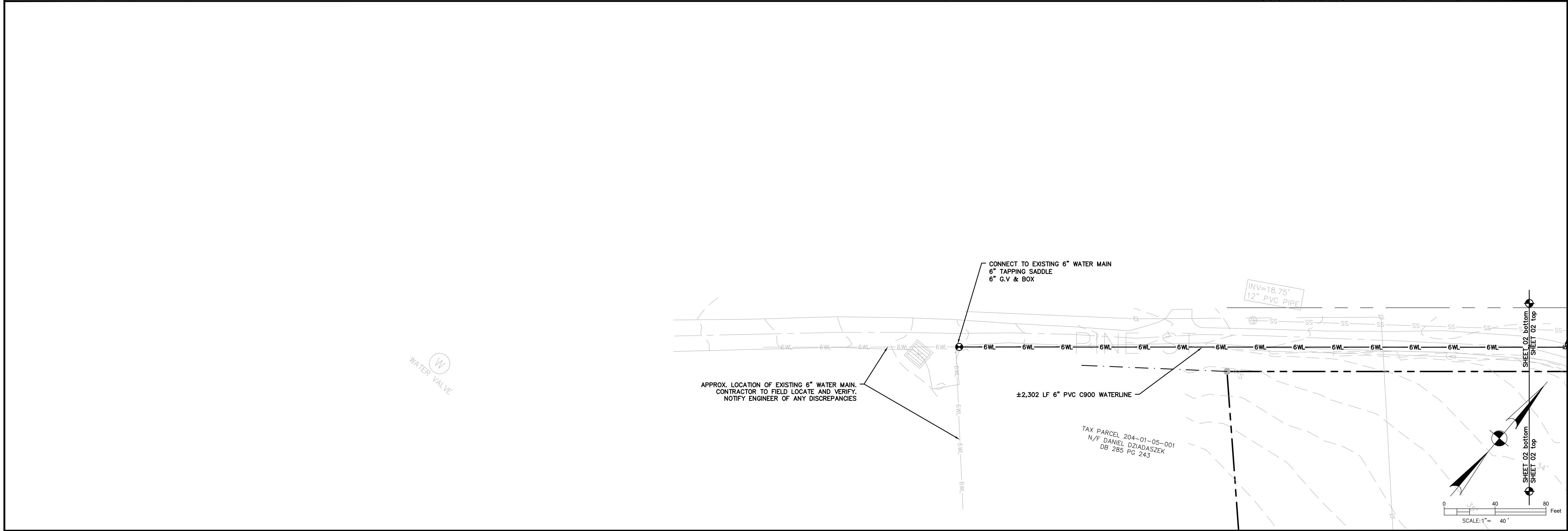
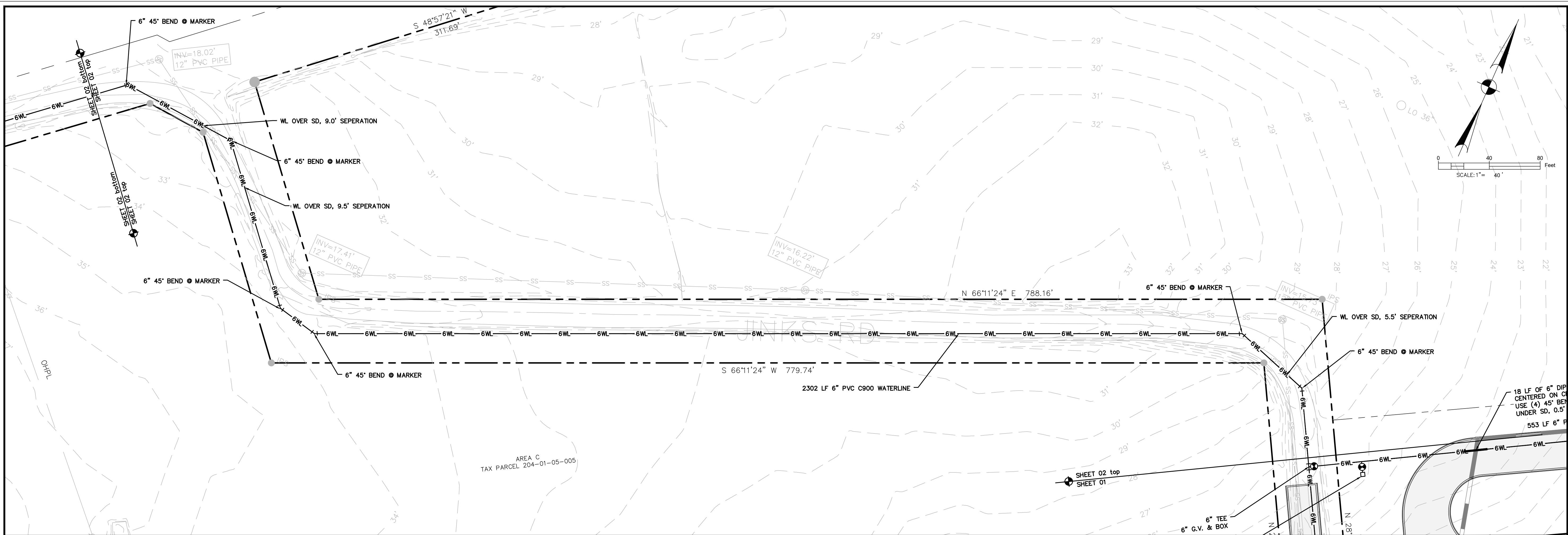
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Professional Engineer Seal for Ward Edwards, Inc. License No. 222816, State of North Carolina. The seal also includes the name of the engineer, Daniel D. Edwards, and the date of the drawing, 12/29/22.

PLAN REVISIONS	
NO.	DESCRIPTION

Ward Edwards
ENGINEERING
P.O. BOX 381, BLUEFORD, SOUTH CAROLINA 29910
PH (803) 877-5555 FAX (803) 877-2536
WWW.WARDEDWARDS.COM

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
UTILITY PLAN

VERTICAL DATUM:
NAVD88

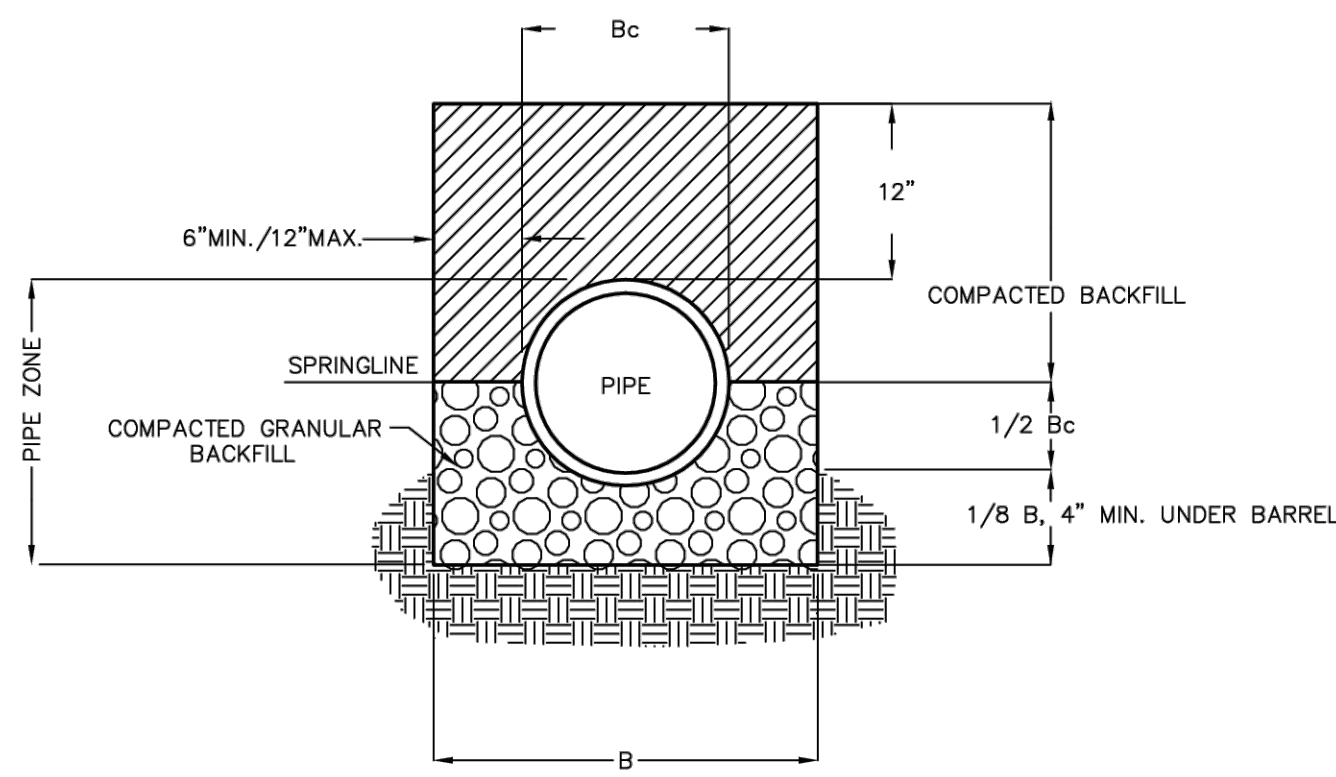
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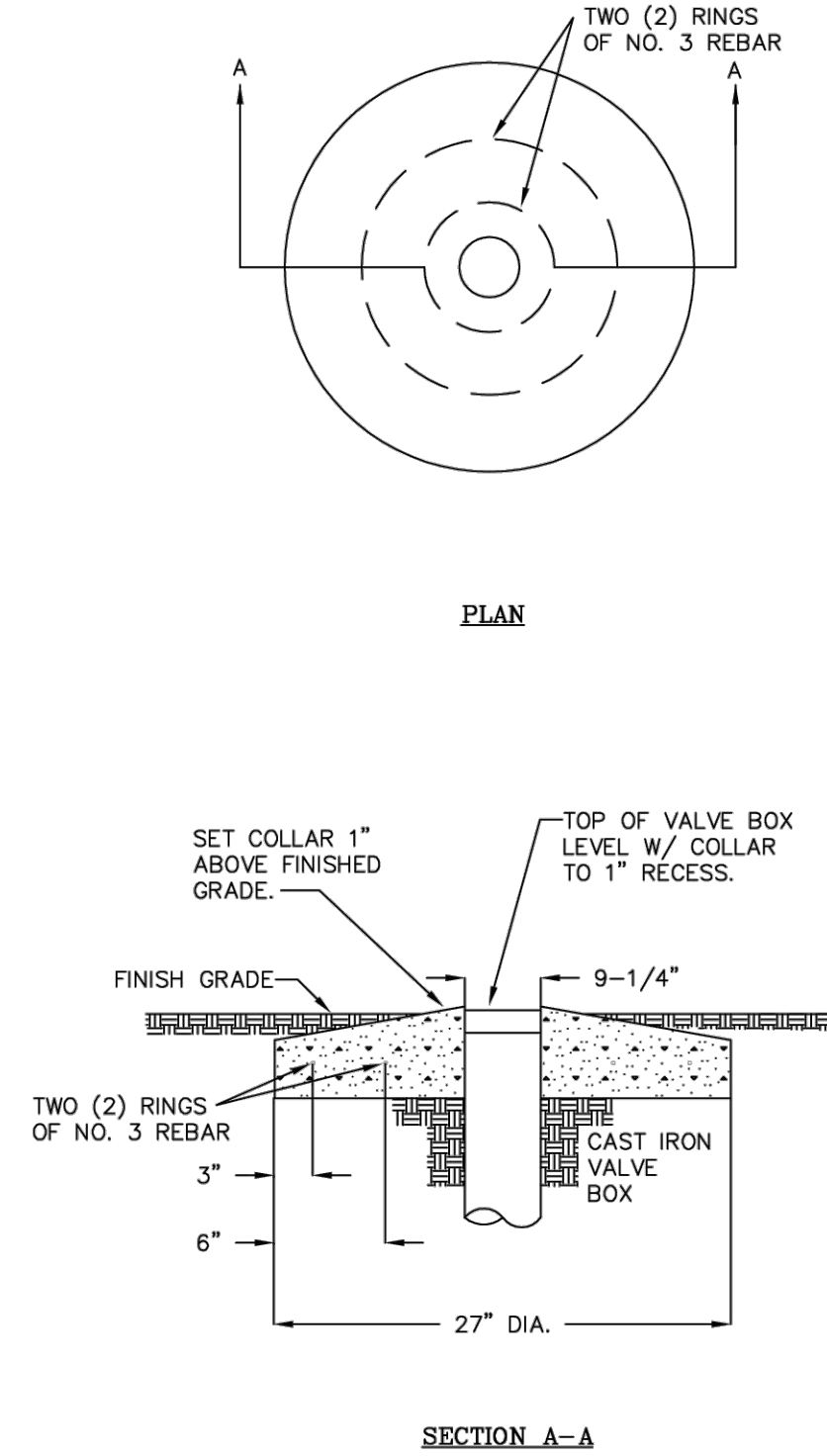
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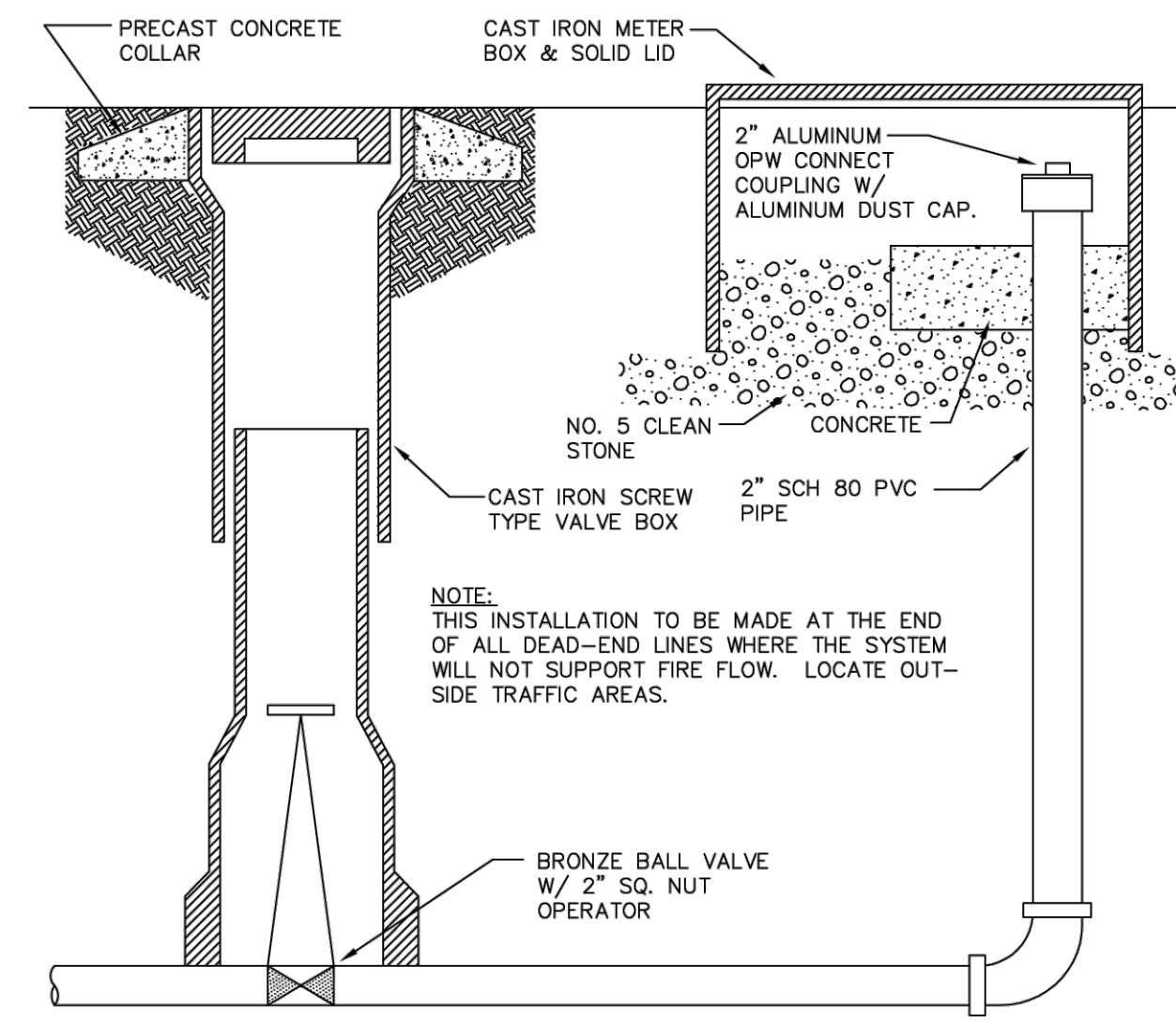
SANITARY SEWER BEDDING

DETAIL 02530-002



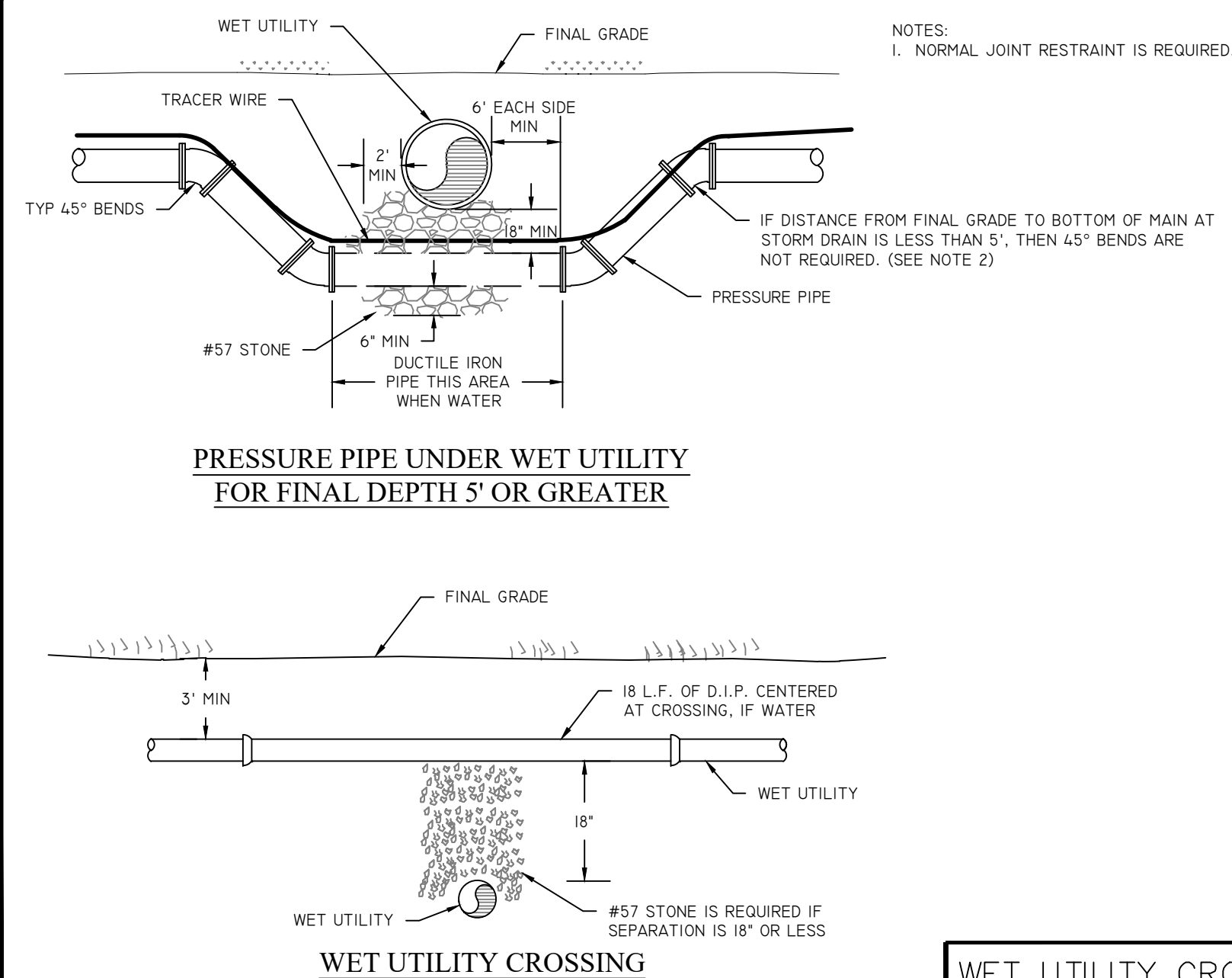
PRECAST CONCRETE COLLAR

DETAIL 02510-022

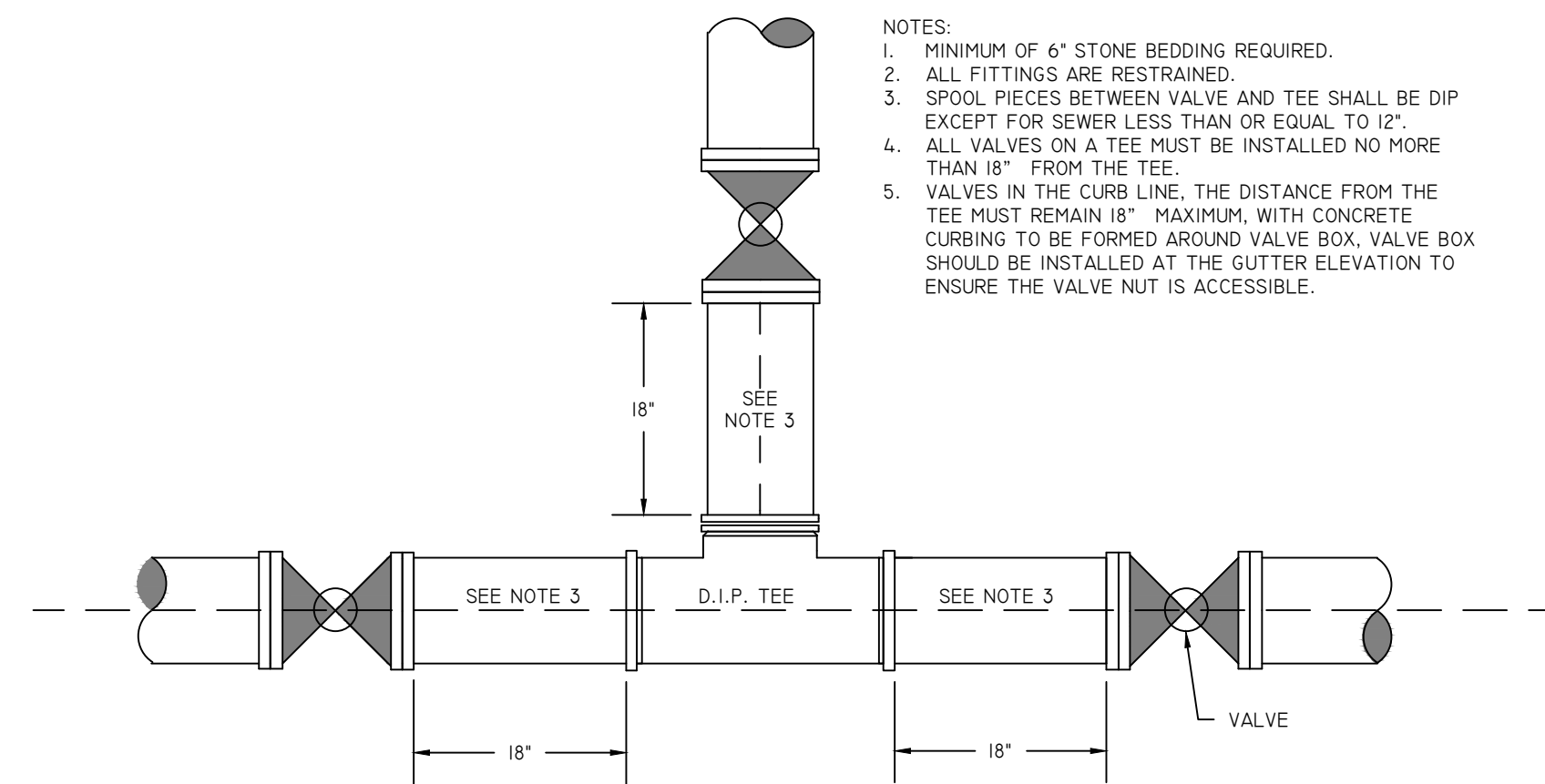


BLOW OFF DETAIL

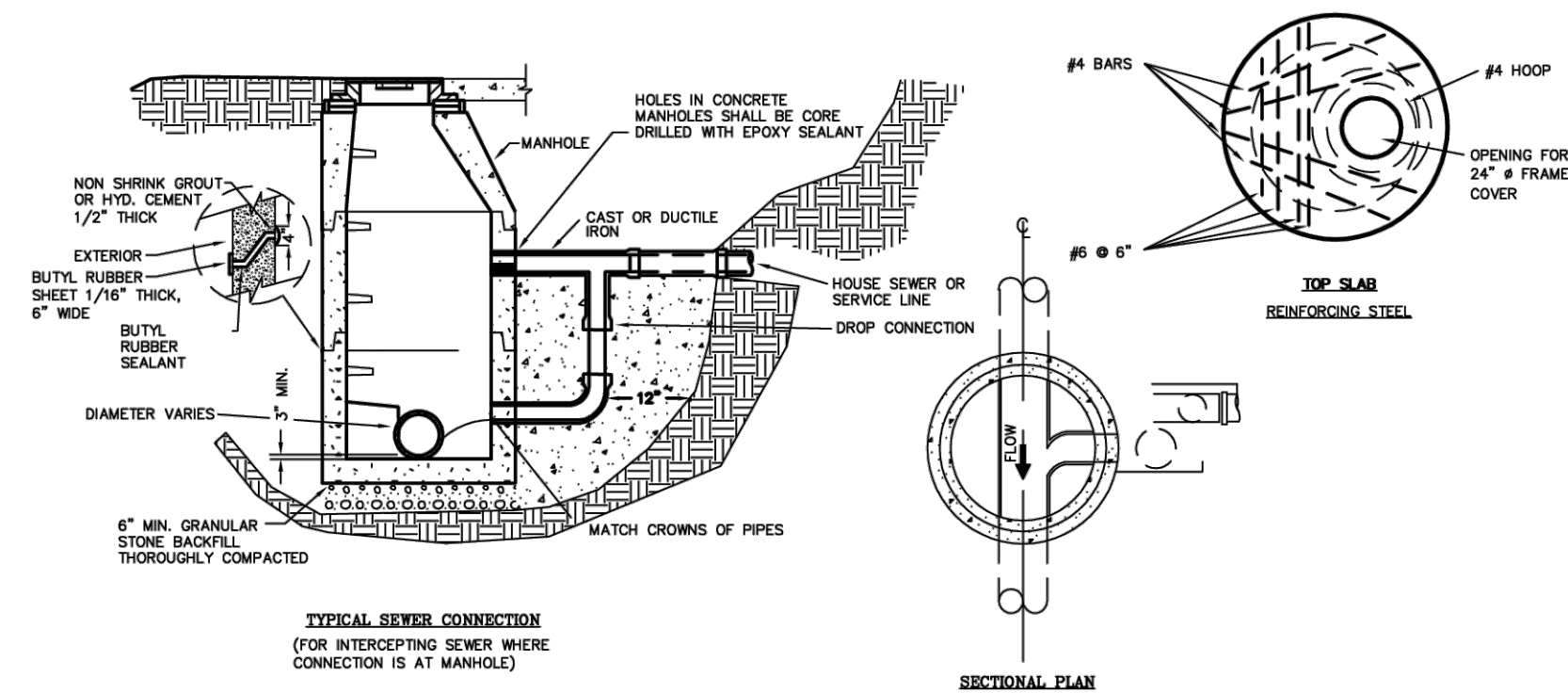
DETAIL 02510-021



WET UTILITY CROSSING

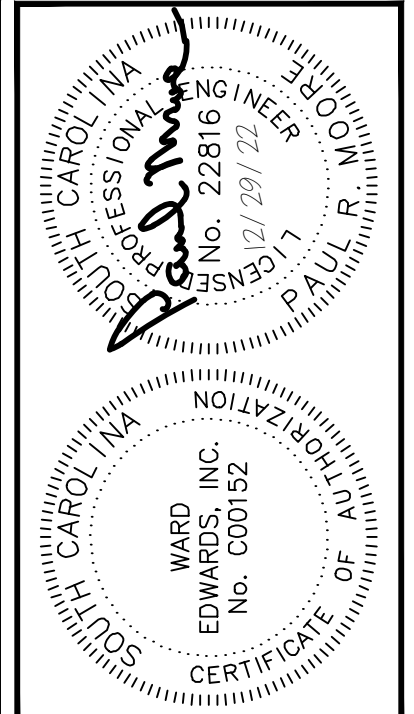


TEE AND VALVES



STANDARD MANHOLE

DETAIL 02530-001



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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
UTILITY DETAILS

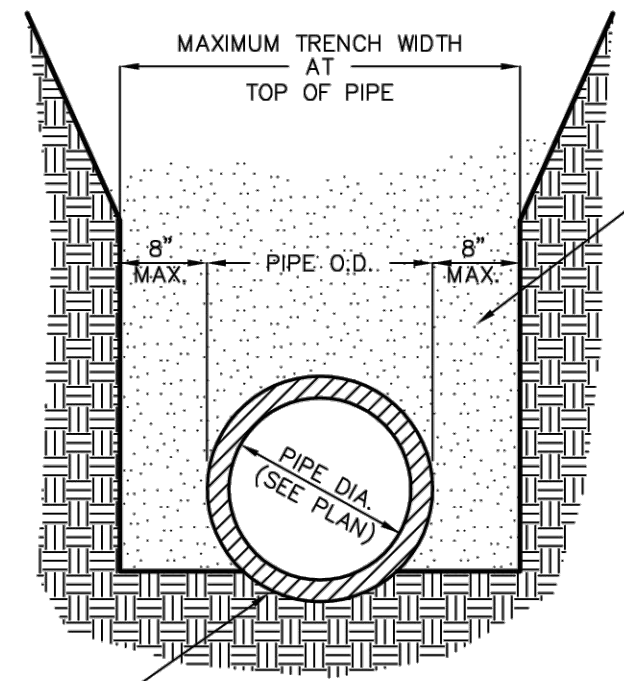
VERTICAL DATUM:
NAVD88

PROJECT #:	210168
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

SHEET C703

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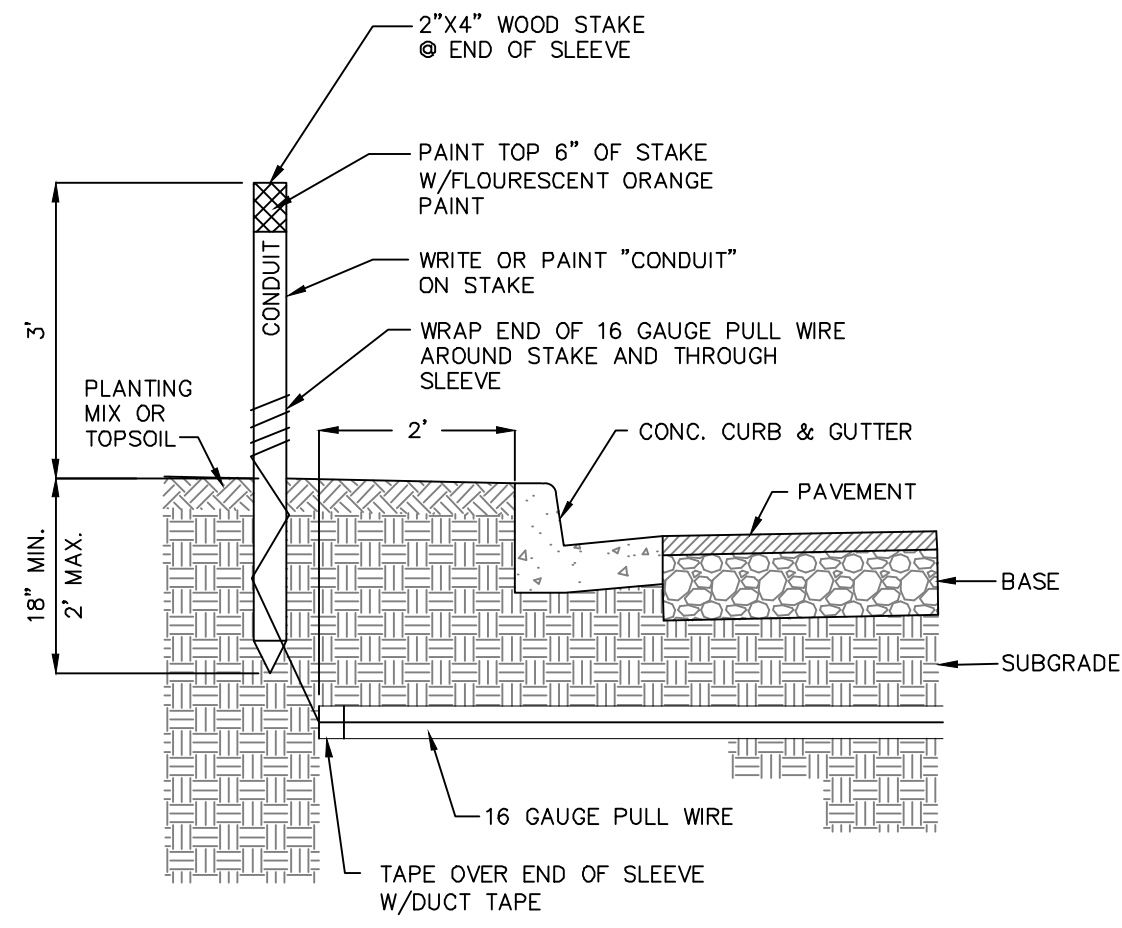


APPROVED BACKFILL COMPACTED IN MAX. 6" LAYERS EXCEPT AS OTHERWISE SPECIFIED

BOTTOM QUADRANT OF PIPE SHALL BE BEDDED FOR FULL LENGTH OF BARRELL

PIPE TRENCH BEDDING

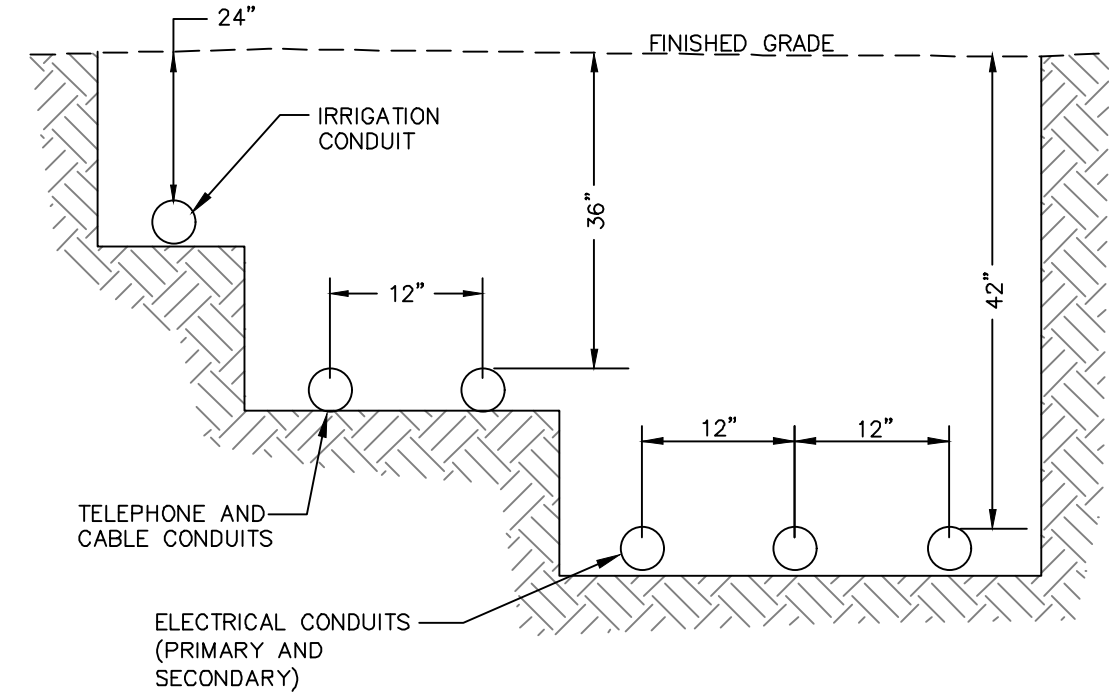
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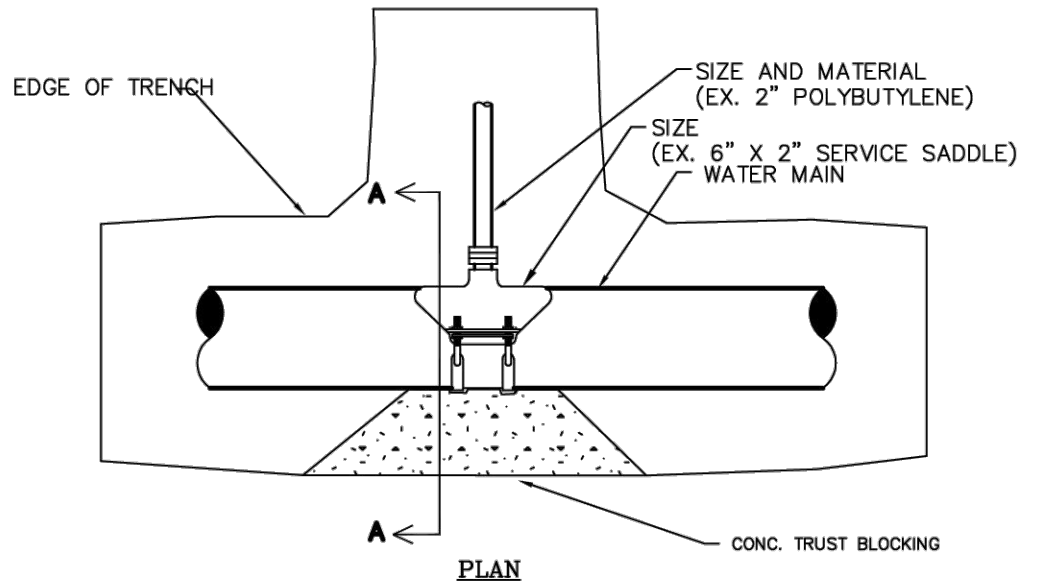
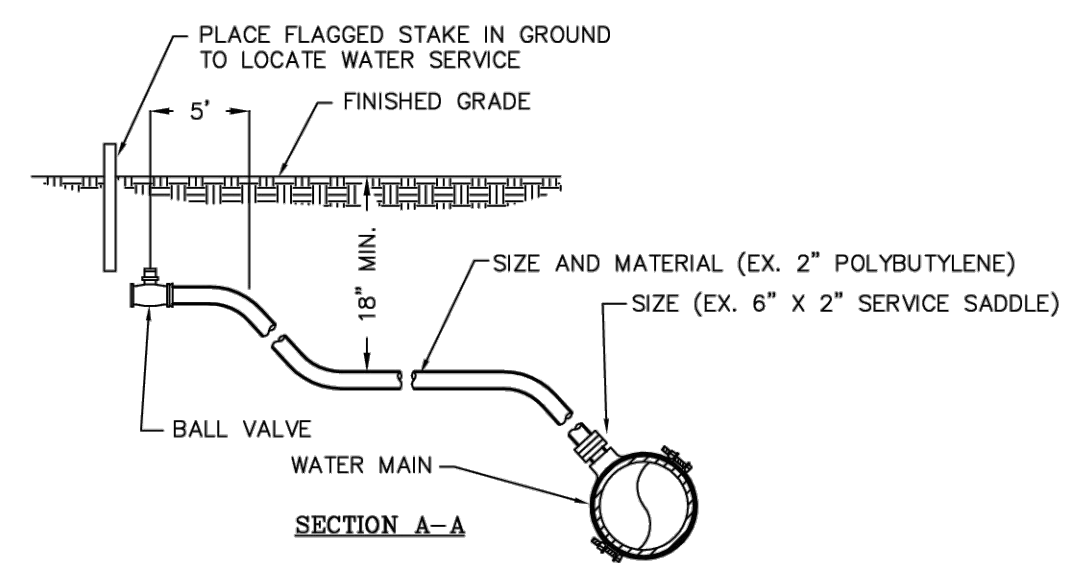
CONDUIT NOTES:

1. ALL CONDUIT ENDS SHALL BE CAPPED AND MARKED AS ILLUSTRATED.
2. ELECTRICAL CONDUIT: 42" BURY DEPTH, SCH 40 ELECTRICAL GRADE (N.E.C.) PVC
3. TELCO CONDUIT: 36" BURY DEPTH, SCH 40 ELECTRICAL GRADE (N.E.C.) PVC
4. IRRIGATION CONDUIT: 24" BURY DEPTH, SCH 40 PVC
5. MINIMUM 12" VERTICAL CLEARANCE WHEN CROSSING WATER, SEWER, AND DRAINAGE.
6. MINIMUM 18" HORIZONTAL CLEARANCE WHEN PARALLELING WATER, SEWER, AND DRAINAGE.
7. MINIMUM 12" HORIZONTAL SEPARATION BETWEEN CONDUIT.
8. CONDUIT MUST EXTEND BEYOND PAVEMENT, CURB, AND SIDEWALKS.
9. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY DRY UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARDS TO THE INSTALLATION OF UTILITIES AND CONDUIT. REFER TO PLANS FOR CONDUIT SIZE AND LOCATION. PLAN VIEW LOCATIONS OF CONDUIT ARE APPROXIMATE.
11. NO 90° OR 45° COUPLINGS TO BE USED ON CONDUIT.
12. CONDUIT MUST BE STRAIGHT TO ALLOW PIPE AND/OR WIRING BY UTILITY COMPANY AND IRRIGATION INSTALLER.
13. CONDUIT NOT INSTALLED AT PROPER DEPTH WILL BE REINSTALLED TO CONFORM TO DETAIL.
14. CONTRACTOR TO VERIFY CONDUIT INTEGRITY PRIOR TO FINAL PAVING.

CONDUIT DETAIL



UTILITY CONDUIT TRENCH DETAIL

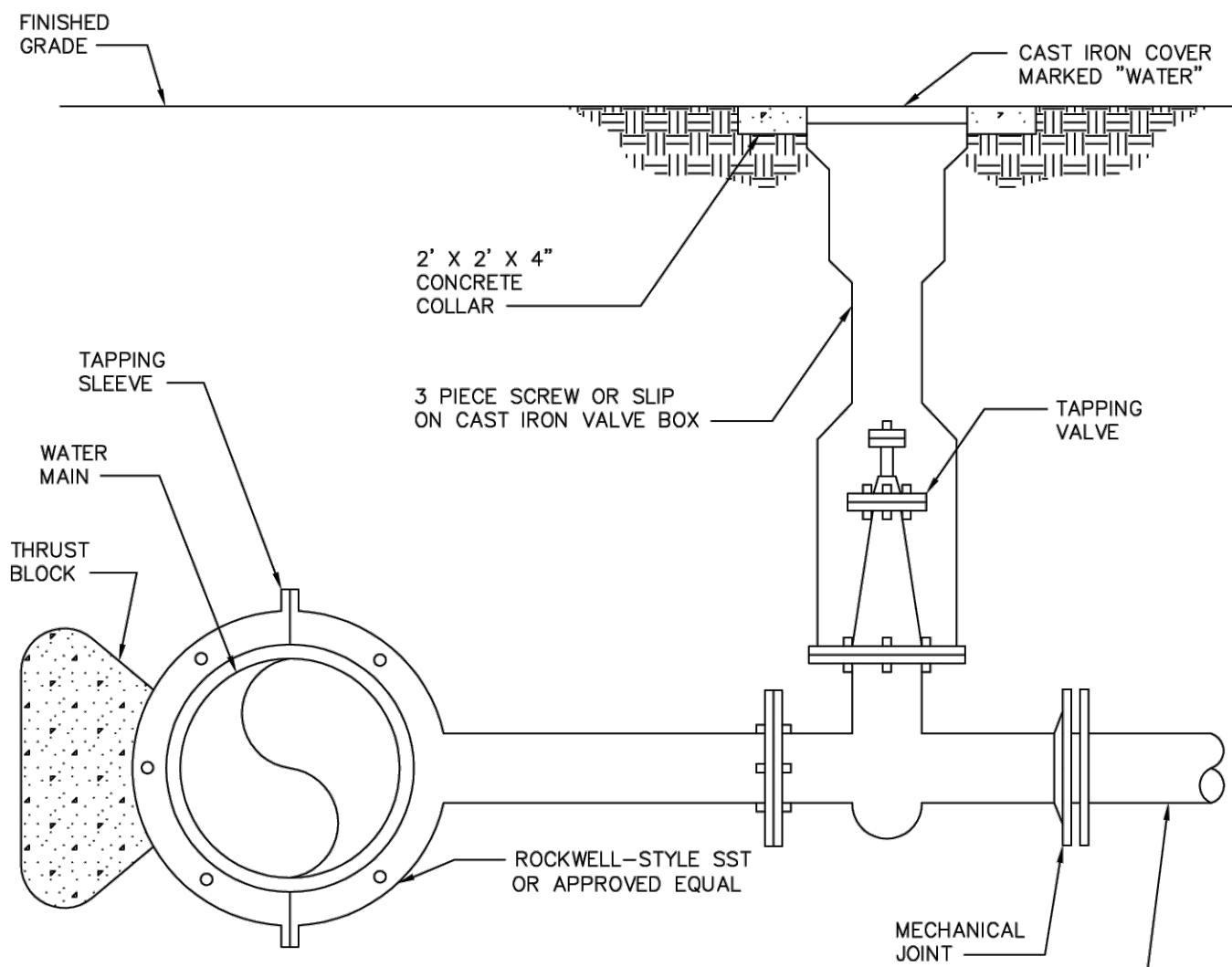


TYPICAL WATER SERVICE CONNECTION

DETAIL 02510-001

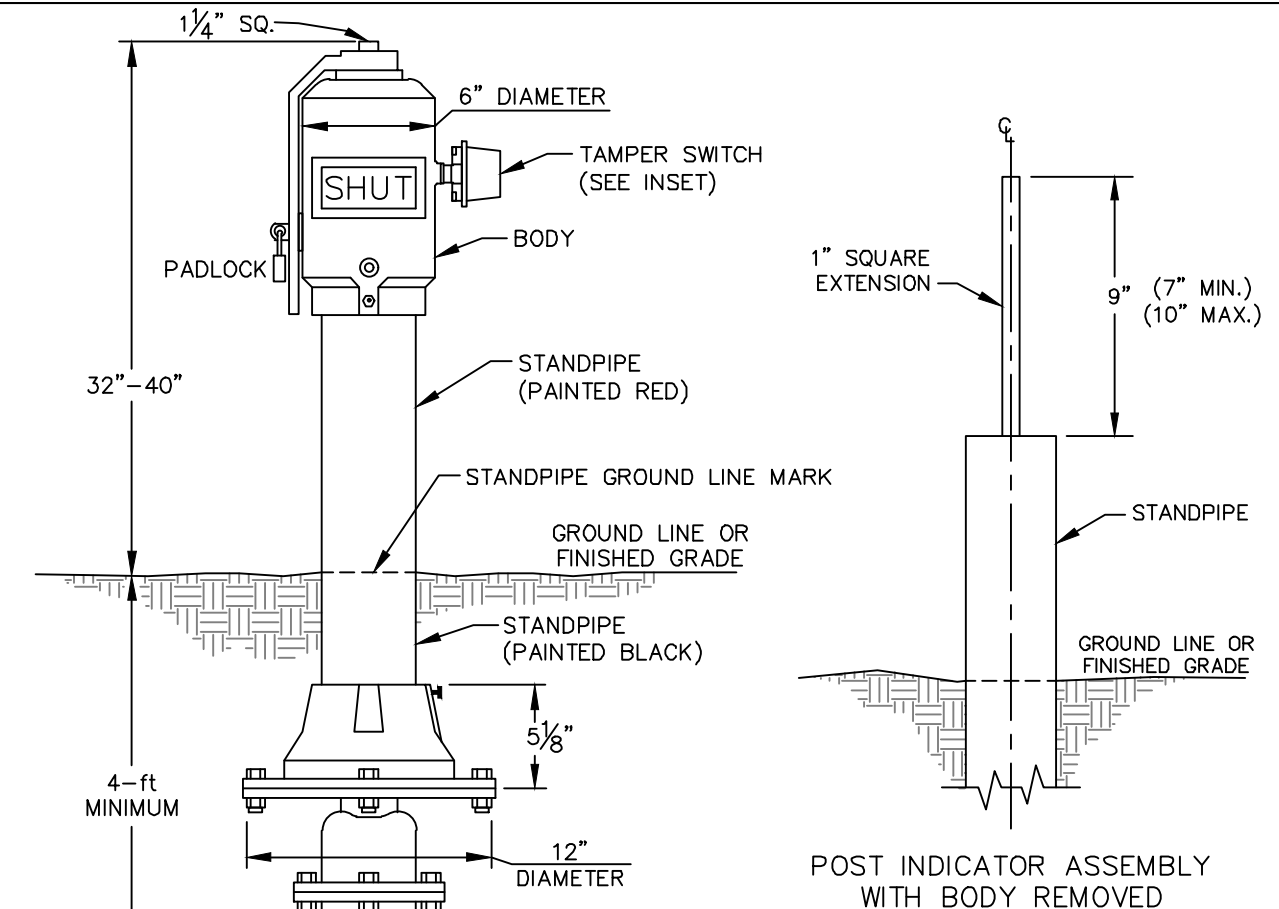
NOTES:

1. ALL FIRE HYDRANT LEADS TO BE DUCTILE IRON WITH MECHANICAL JOINTS. HYDRANTS TO BE LOCATED 3' TO 10' BEHIND EDGE OF PAVEMENT OR 1' INSIDE RIGHT-OF-WAY AND ON PROPERTY LINE BETWEEN TWO LOTS. VERIFY LOCATION W/HILTON HEAD P.S.D..
2. ALL FITTINGS SHALL BE MECHANICAL JOINTS AT TEES, GATE VALVES & FIRE HYDRANTS.



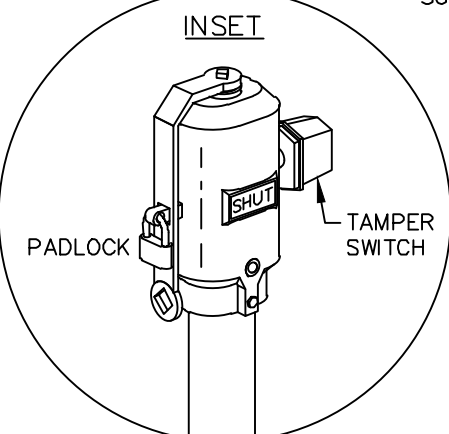
TAPPING SLEEVE AND VALVE

DETAIL 02510-006



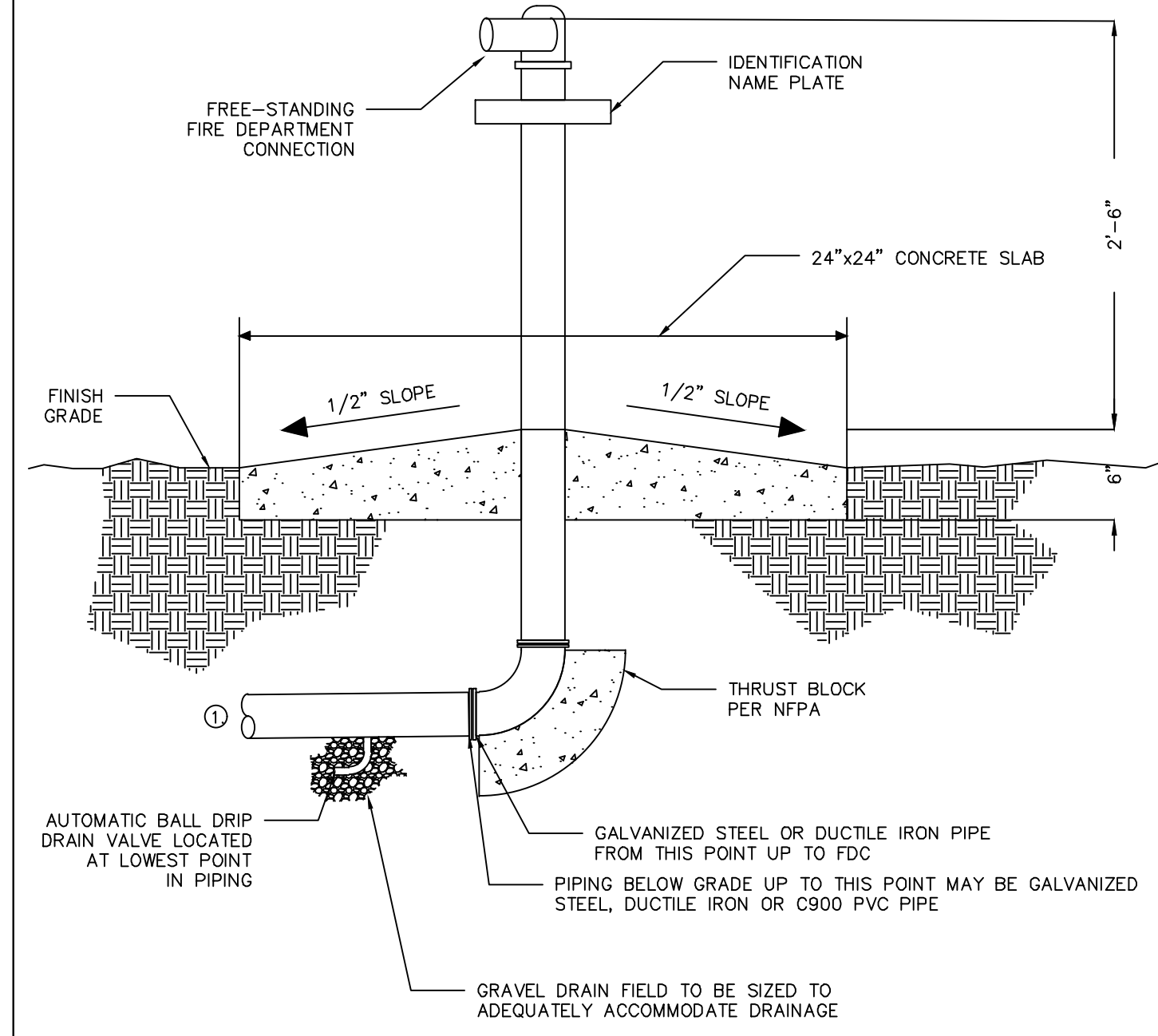
FIELD ADJUSTMENT INSTRUCTIONS

1. REMOVE THE BODY FROM THE TOP OF THE INDICATOR POST ASSEMBLY.
2. CUT THE REQUIRED LENGTH OFF THE BOTTOM OF THE STANDPIPE FOR THE GROUND LINE TO MATCH UP WITH STANDPIPE GROUND LINE MARK.
3. CUT THE 1" SQ. EXTENSION AT A DISTANCE OF 9" ABOVE THE TOP OF THE STANDPIPE.
4. SET THE "OPEN" AND "SHUT" TARGETS FOR THE APPROPRIATE VALVE SIZE.
5. RE-ATTACH THE BODY TO THE TOP OF THE INDICATOR POST ASSEMBLY.
6. ALL POST INDICATOR VALVES SHALL BE INSTALLED WITH AN ELECTRONIC UL LISTED TAMPER SWITCH.
7. THERE SHALL BE 36" OF UNOBSTRUCTED CLEARANCE AROUND THE PERIMETER OF ALL POST INDICATOR VALVES.
8. POST INDICATOR VALVE SHALL BE LOCATED AT A MINIMUM 40-FT FROM BUILDING.



STANDARD POST INDICATOR VALVE

DETAIL 02510-032A

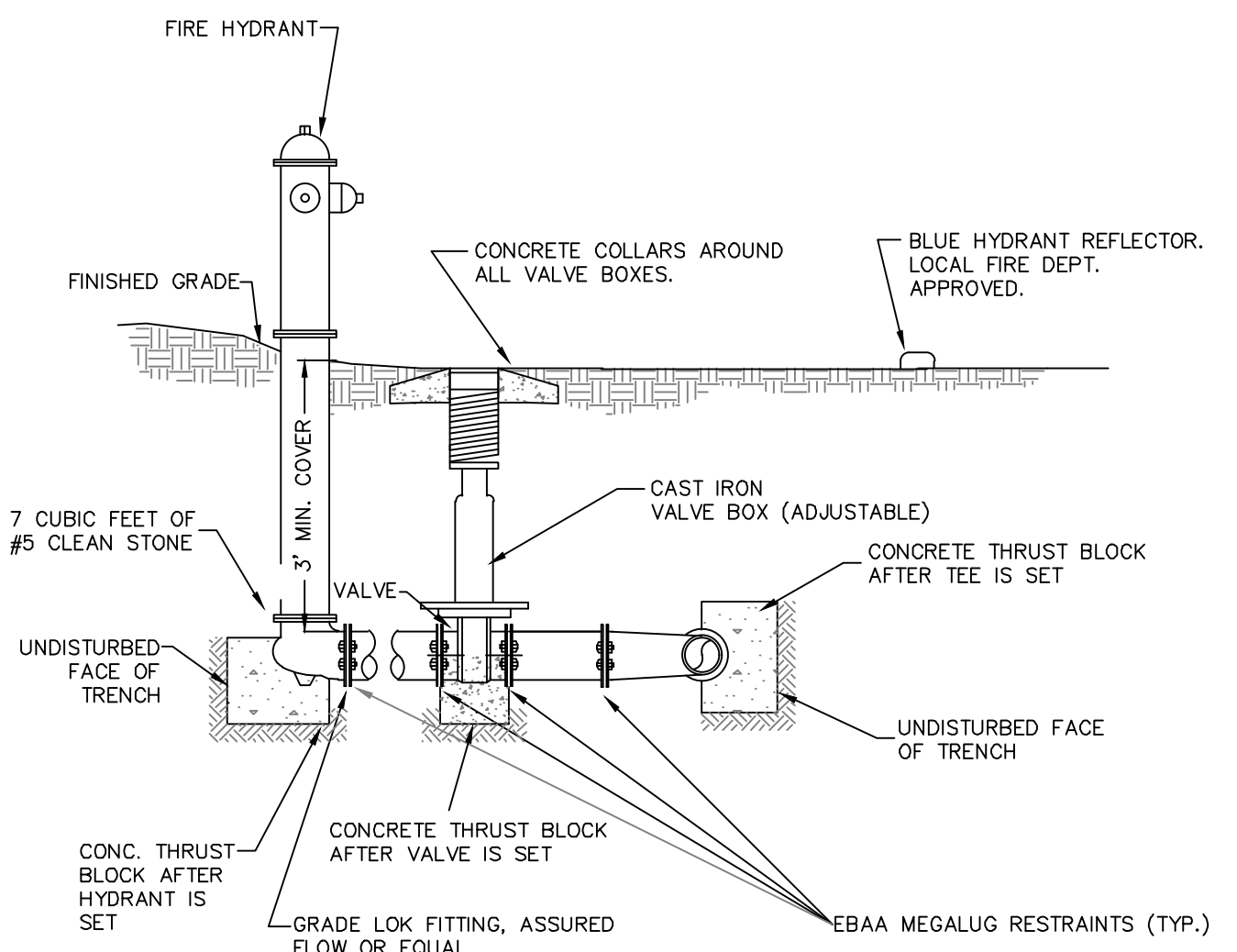


NOTES:

1. WHERE GALVANIZED STEEL PIPE IS INSTALLED UNDERGROUND FOR FIRE DEPARTMENT CONNECTION PIPING, PIPING SHALL BE EXTERNALLY COATED AND WRAPPED INCLUDING ALL CLAMPS, TIE RODS AND BOLTED JOINT ACCESSORIES PER NFPA 13.

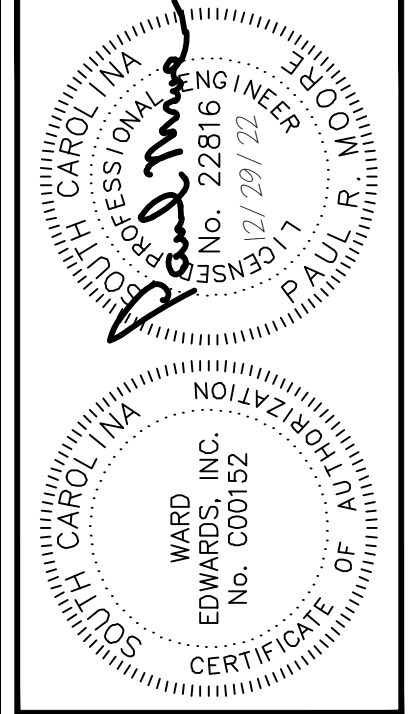
FREE STANDING FIRE DEPARTMENT CONNECTION DETAIL

NOT TO SCALE



FIRE HYDRANT VALVE AND TEE SETTING

DETAIL 02510-019



NO.	DESCRIPTION	DATE
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IRONLINE METALS
 TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
 TELL CITY, INDIANA
UTILITY DETAILS

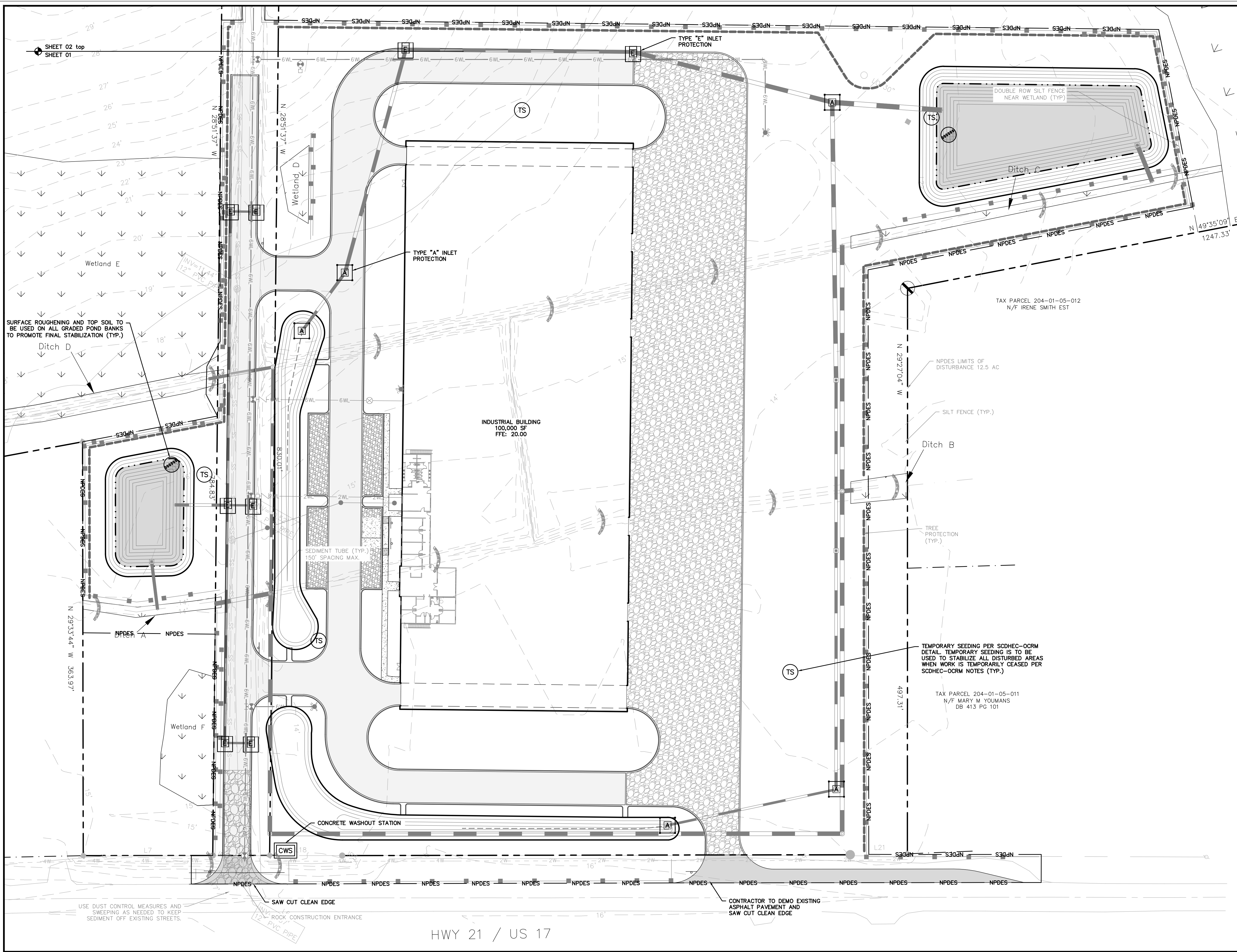
VERTICAL DATUM:
NAVD88

PROJECT #:	210148
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

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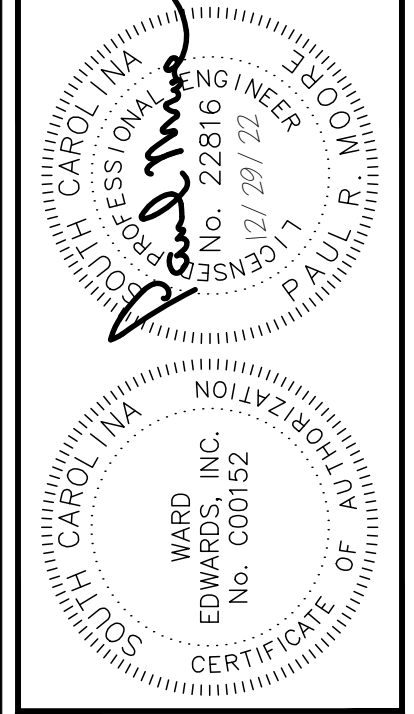
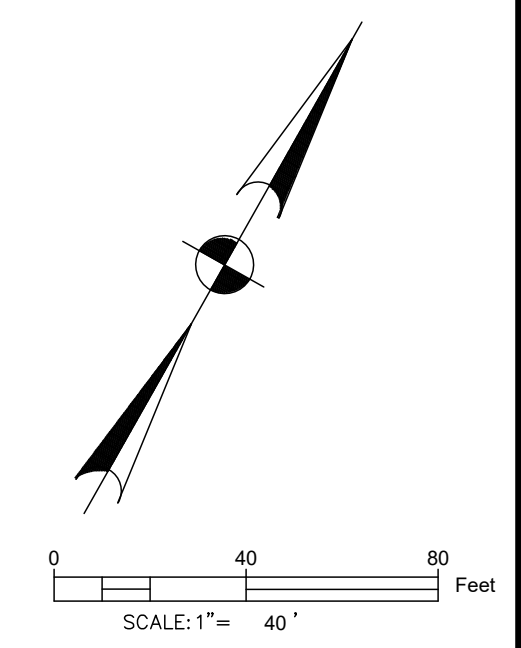


LIMITS OF DISTURBANCE:	
NPDES	

EROSION PREVENTION	
LAND GRADING:	OR
SURFACE ROUGHENING:	
TOPSOILING:	
TEMPORARY SEEDING:	
MULCHING:	
ECB OR TRM:	
FGM:	
BFM:	
PERMANENT SEEDING:	
SODDING:	
RIPRAP:	
OUTLET PROTECTION:	OR
DUST CONTROL:	
POLYACRYLAMIDE (PAM):	

SEDIMENT CONTROL	
SEDIMENT BASIN:	
TEMPORARY SEDIMENT TRAP:	
ROCK SEDIMENT DIKE:	
ROCK CHECK DAM:	
SEDIMENT TUBE:	
SILT FENCE:	
REINFORCED SILT FENCE:	
TYPE A - FABRIC INLET PROTECTION:	
TYPE A - SEDIMENT TUBE INLET PROTECTION:	
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	
TYPE D - RIGID INLET FILTERS:	
TYPE E - SURFACE COURSE CURB INLET FILTER:	
TYPE F - INLET TUBE:	
TYPE FC - FILTER BAG CURB INLET PROTECTION:	
TYPE FB - FILTER BAG GRATE INLET PROTECTION:	
CONCRETE WASHOUT:	

RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	
RIPRAP-LINED CHANNELS:	
ECB OR TRM-LINED CHANNELS:	
PAVED CHANNELS:	
PIPE SLOPE DRAINS:	
TEMPORARY STREAM CROSSING:	
TEMPORARY DIVERSION DITCH OR SWALE:	
PERMANENT DIVERSION DITCH:	
DIVERSION DIKE OR BERM:	
LEVEL SPREADER:	
SUBSURFACE DRAIN:	



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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
INTERMEDIATE EROSION CONTROL PLAN

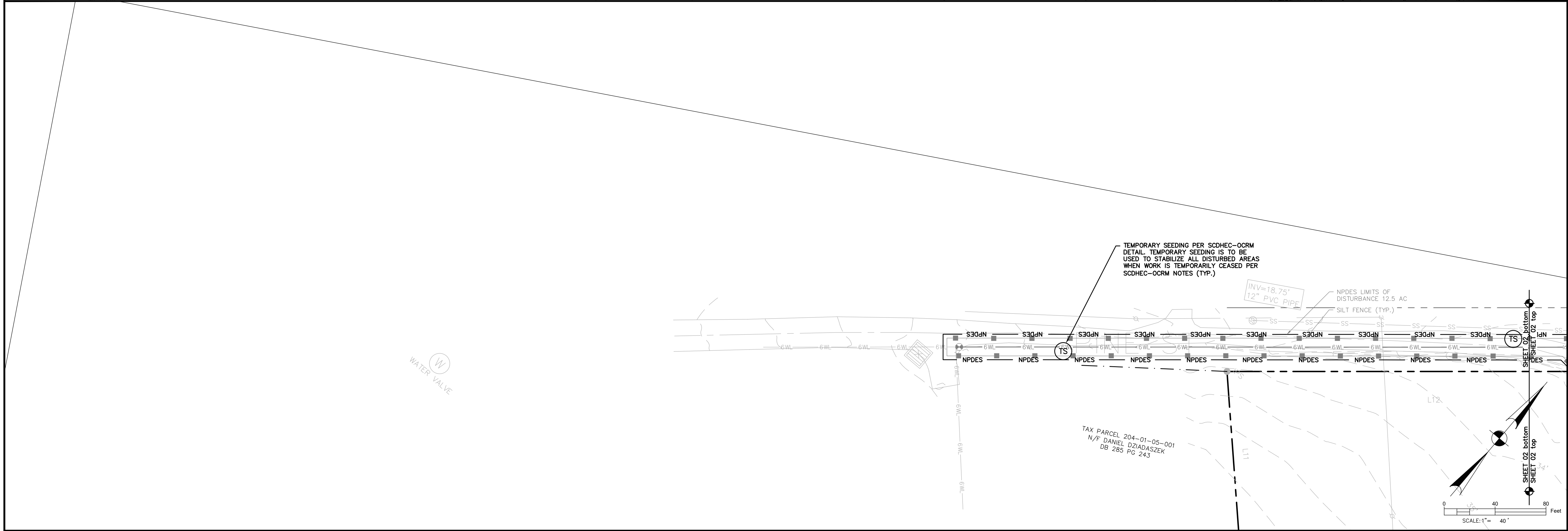
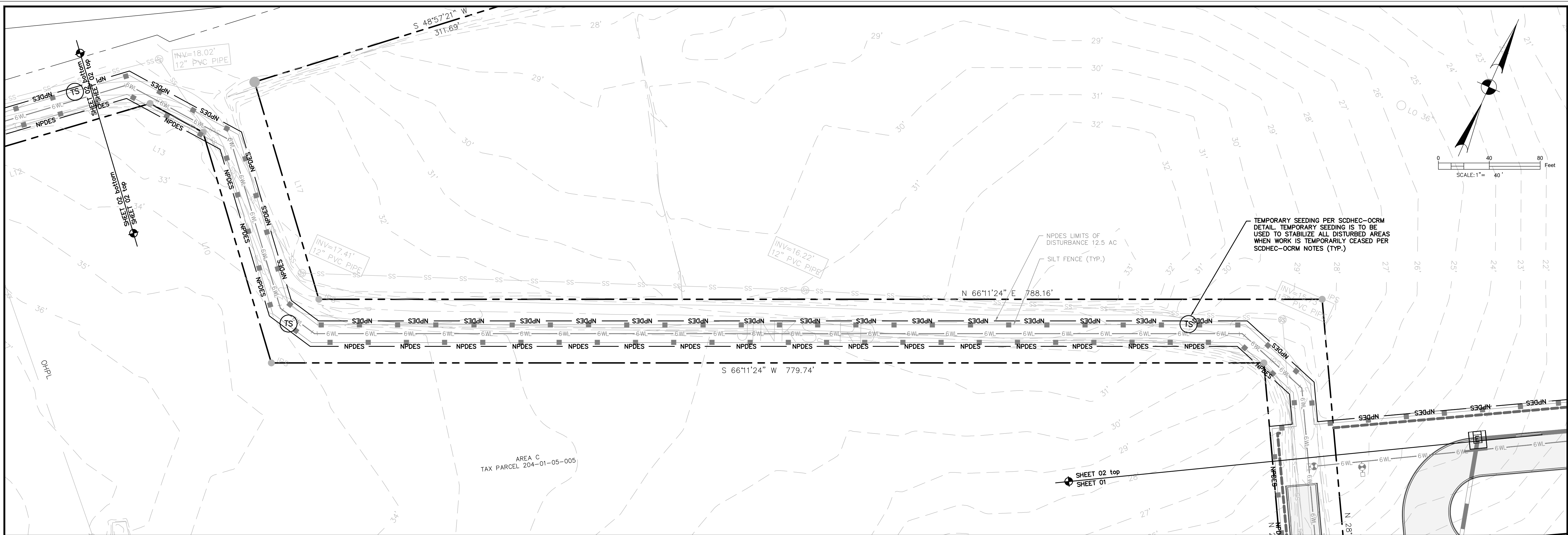
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IRONLINE METALS
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RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
INTERMEDIATE EROSION CONTROL PLAN

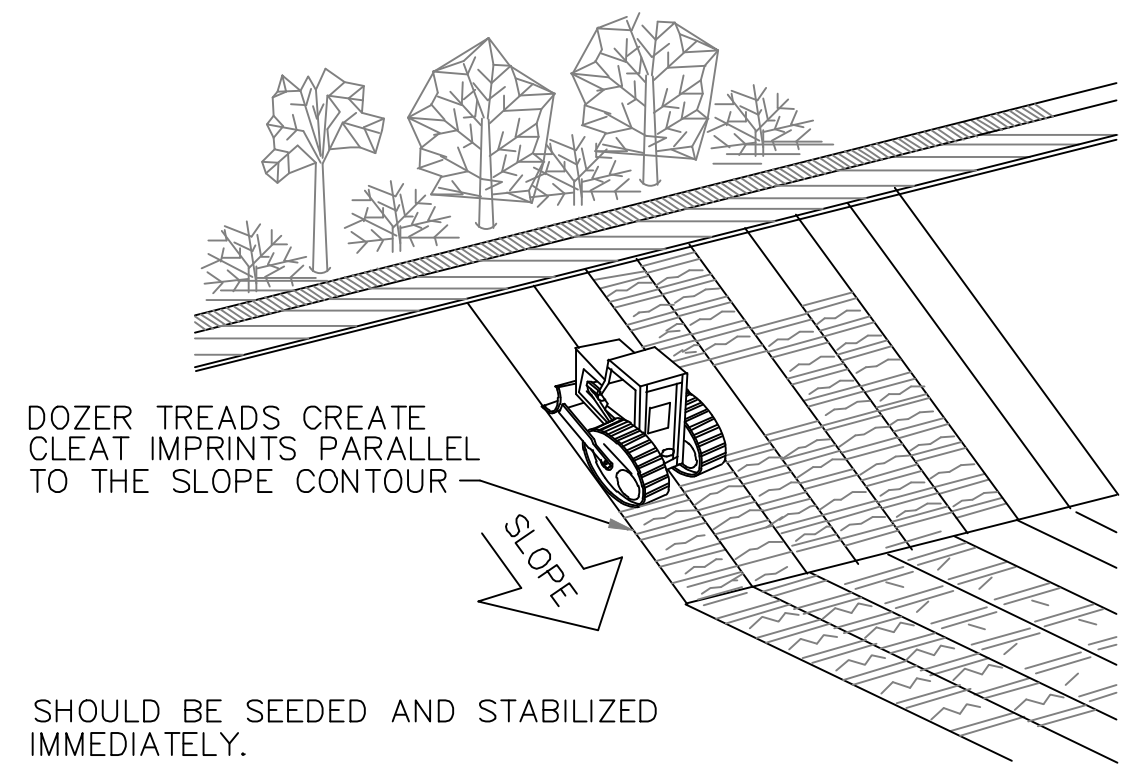
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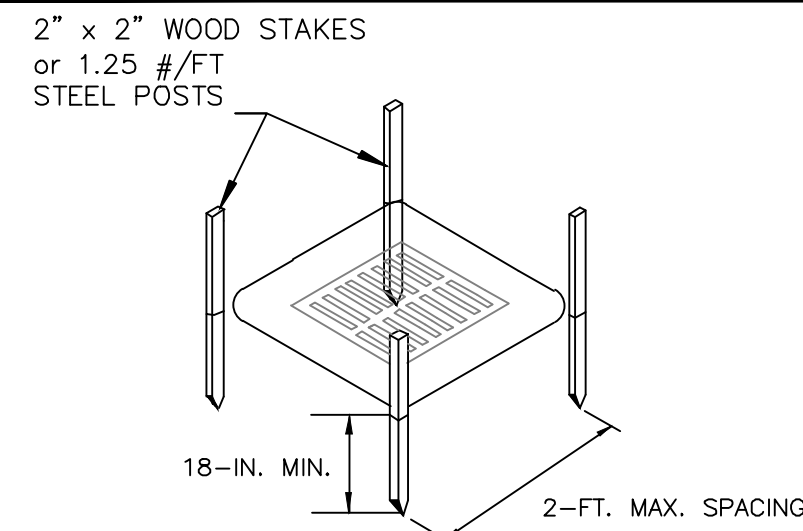
TRACKING

South Carolina Department of Health and Environmental Control

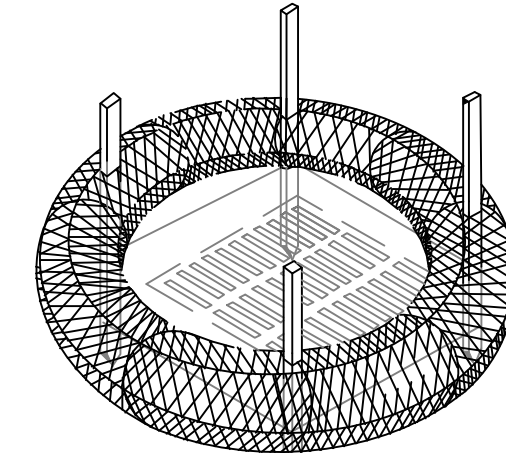
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STANDARD DRAWING NO. EC-01 Page 1

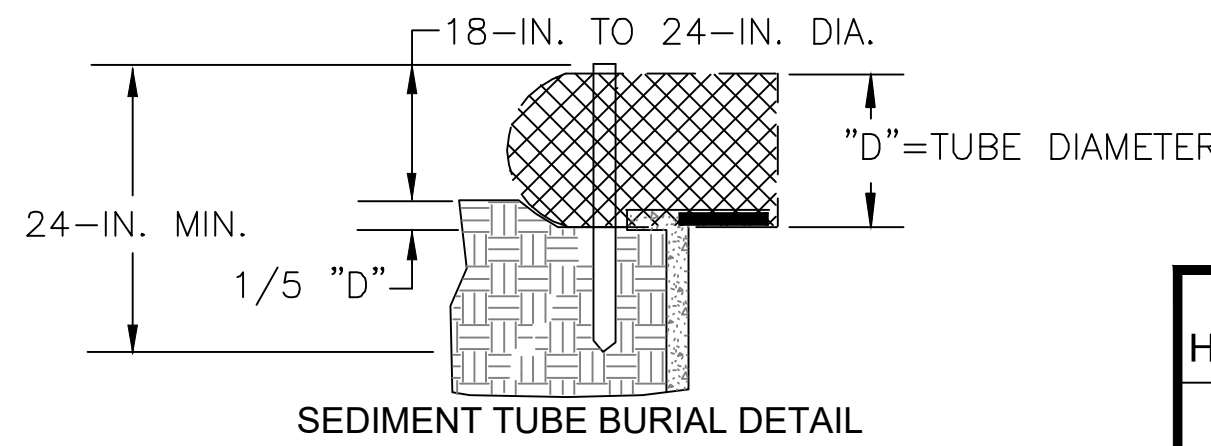
APPROVED BY: _____ SIGNED: _____ AUGUST, 2005 DATE: _____



POST INSTALLATION DETAIL



SEDIMENT TUBE INSTALLATION DETAIL



SEDIMENT TUBE BURIAL DETAIL

PLAN SYMBOL

South Carolina Department of Health and Environmental Control

Type A

SEDIMENT TUBE INLET PROTECTION

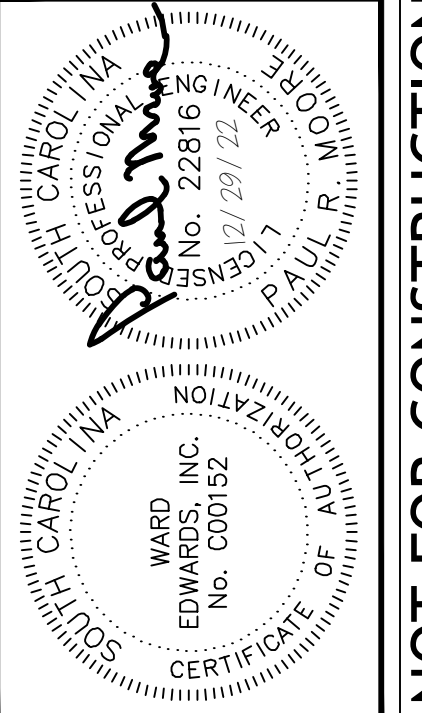
STANDARD DRAWING NO. SC-07A PAGE 1 of 2

FEBRUARY 2014 DATE

NOT TO SCALE

TEMPORARY SEEDING – COASTAL

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	40 LBS/AC												
RYE, GRAIN	56 LBS/AC												
RYEGRASS	50 LBS/AC												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET OR JAPANESE MILLET	40 LBS/AC												
RYE, GRAIN OR OATS	56 LBS/AC												
RYEGRASS	50 LBS/AC												

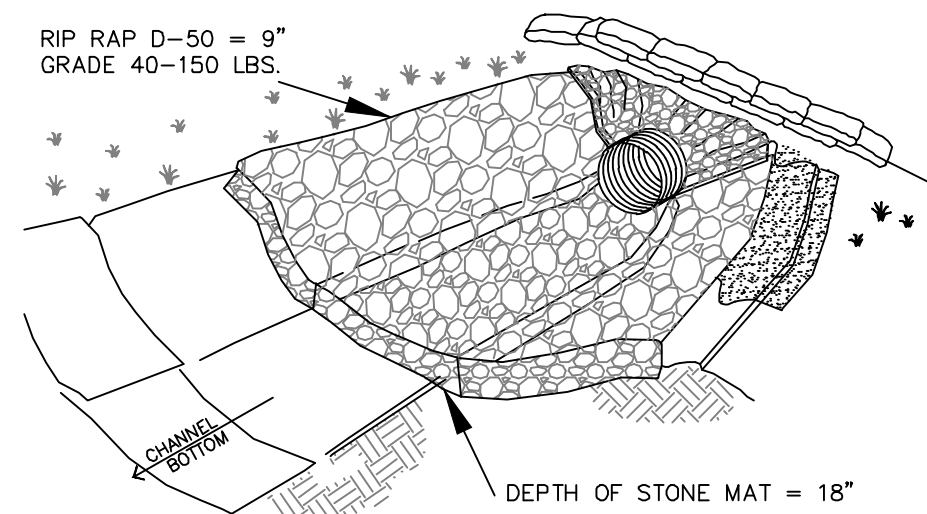


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TS TEMPORARY SEEDING - COASTAL DETAIL 02370-011



- NOTES:
1. PLACE ALL RIP RAP ON 8 OUNCE NON-WOVEN FILTER CLOTH.
 2. STAKING OF FILTER CLOTH PER MANUFACTURER'S SPECIFICATIONS.
 3. LENGTH OF OUTLET STABILIZATION = 8 TIMES PIPE DIA. TOP WIDTH OF OUTLET STABILIZATION = 3 TIMES PIPE DIA. BOTTOM WIDTH OF OUTLET STABILIZATION = 6 TIMES PIPE DIA.

RIP RAP OUTLET STABILIZATION DETAIL

DETAIL #02370-009

TYPE A – SEDIMENT TUBE INLET PROTECTION

GENERAL NOTES

1. Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needles, and leaf mulch-filled sediment tubes are not permitted.
2. The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
3. Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
4. Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
5. Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
6. Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tubes. Manufacturer's recommendations should always be consulted before installation.
7. The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
8. Sediment tubes should not be stacked on top of one another.
9. Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
10. Install stakes at a diagonal facing incoming runoff.

INSPECTION & MAINTENANCE

1. The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Large debris, trash, and leaves should be removed in front of tubes when found.
7. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control

Type A

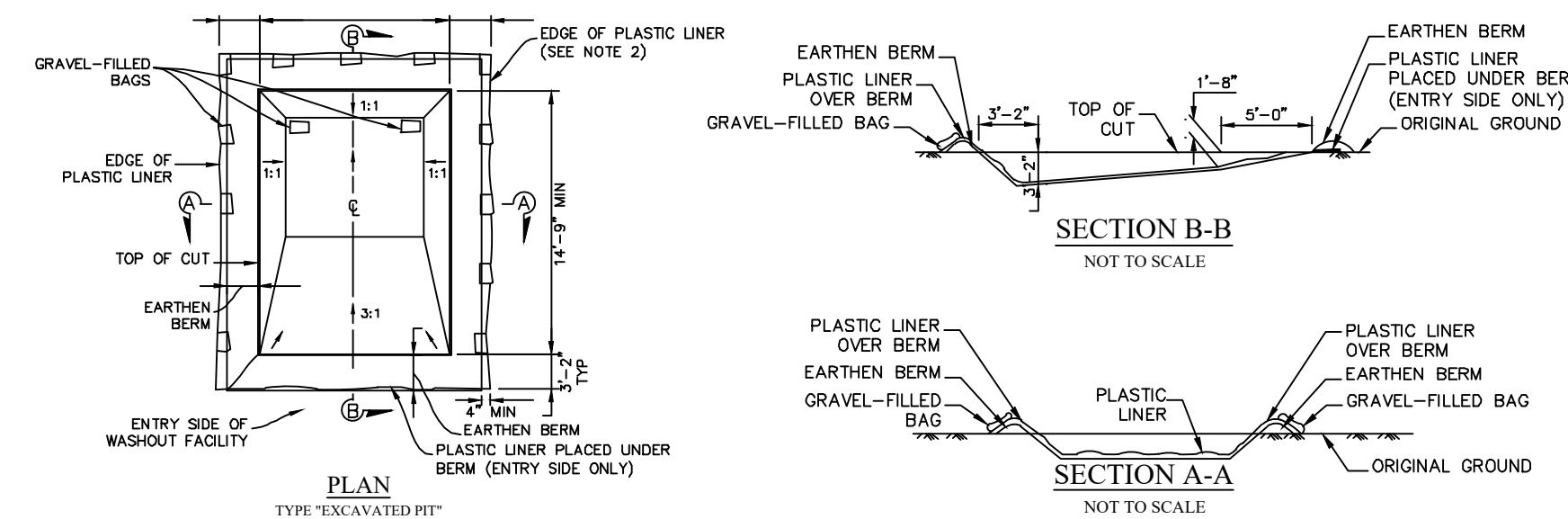
SEDIMENT TUBE INLET PROTECTION

STANDARD DRAWING NO. SC-07A PAGE 2 of 2

FEBRUARY 2014 DATE

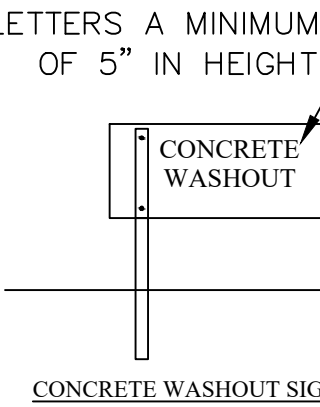
NOT TO SCALE

EXCAVATED PIT CONCRETE WASHOUT



NOTES:

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. INSTALL CONCRETE WASHOUT SIGN (24"X24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.



CONCRETE WASHOUT SIGN DETAIL

South Carolina Department of Health and Environmental Control

CONCRETE WASHOUT

EXCAVATED PIT

STANDARD DRAWING NO. RC-08 PAGE 1 of 1

FEBRUARY 2014 DATE

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IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
INTERMEDIATE EROSION CONTROL
DETAILS

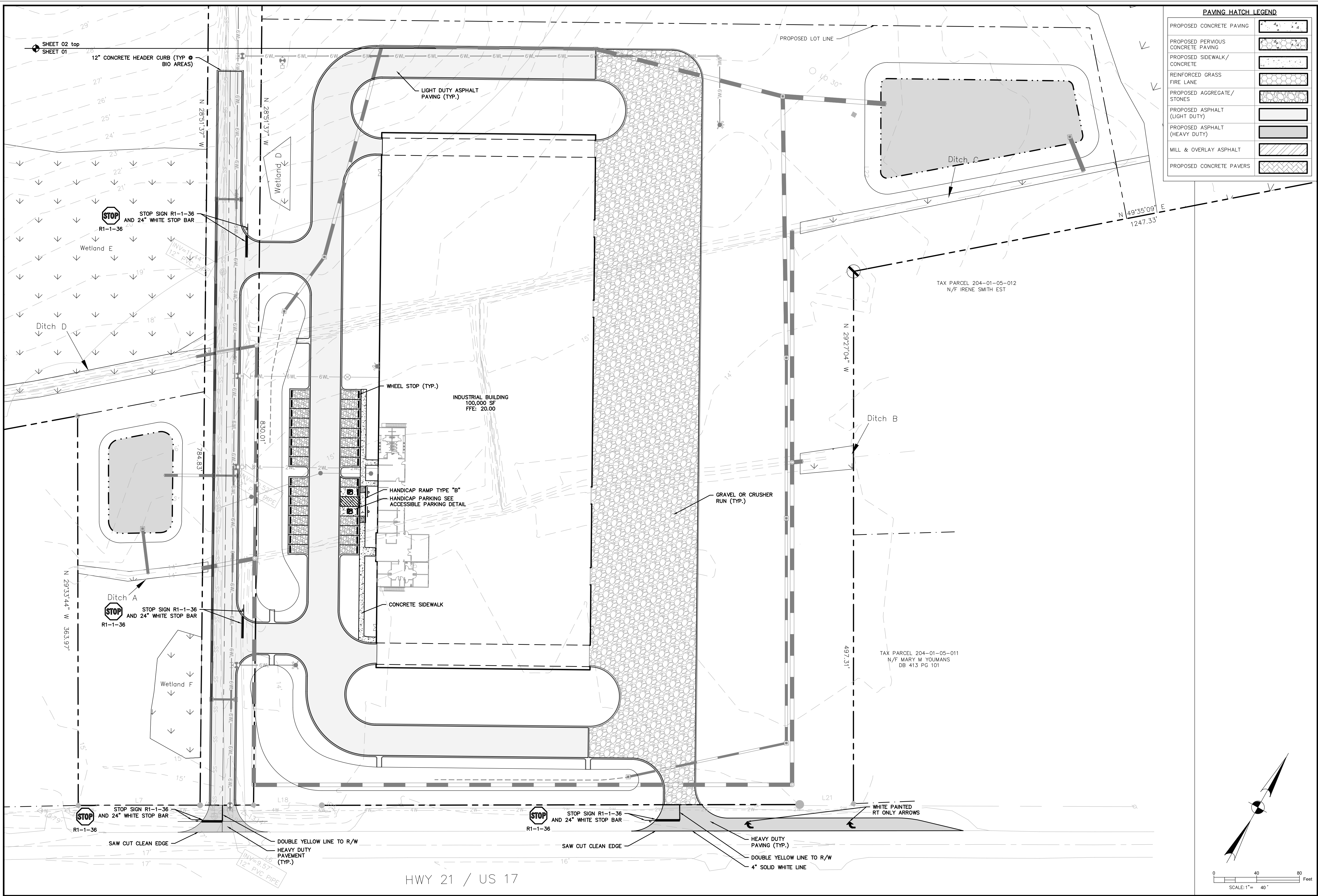
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PROJECT #: 210168
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PAVING HATCH LEGEND

PROPOSED CONCRETE PAVING	[Hatch pattern]
PROPOSED PERVIOUS CONCRETE PAVING	[Hatch pattern]
PROPOSED SIDEWALK/ CONCRETE	[Hatch pattern]
REINFORCED GRASS FIRE LANE	[Hatch pattern]
PROPOSED AGGREGATE/ STONES	[Hatch pattern]
PROPOSED ASPHALT (LIGHT DUTY)	[Hatch pattern]
PROPOSED ASPHALT (HEAVY DUTY)	[Hatch pattern]
MILL & OVERLAY ASPHALT	[Hatch pattern]
PROPOSED CONCRETE PAVERS	[Hatch pattern]

Professional Engineer Seal:
 WARD EDWARDS, INC.
 No. 22816
 No. 000152
 CERTIFICATE OF QUALIFICATION

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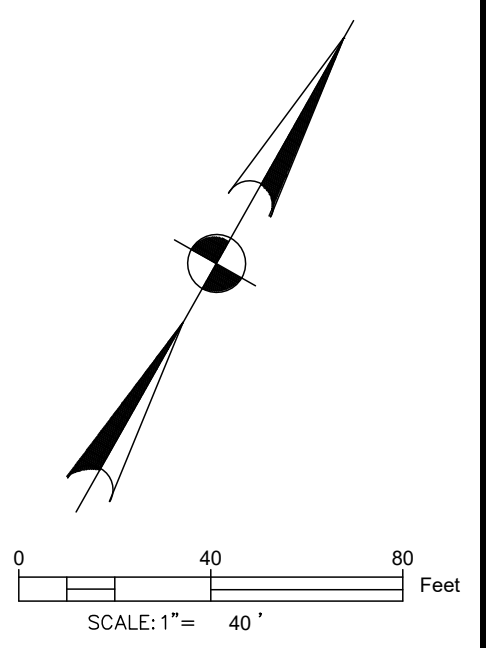
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IRONLINE METALS
 TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
 TELL CITY, INDIANA
PAVING PLAN

VERTICAL DATUM:
NAVD88

PROJECT #:	210148
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DESIGNED BY:	BMT
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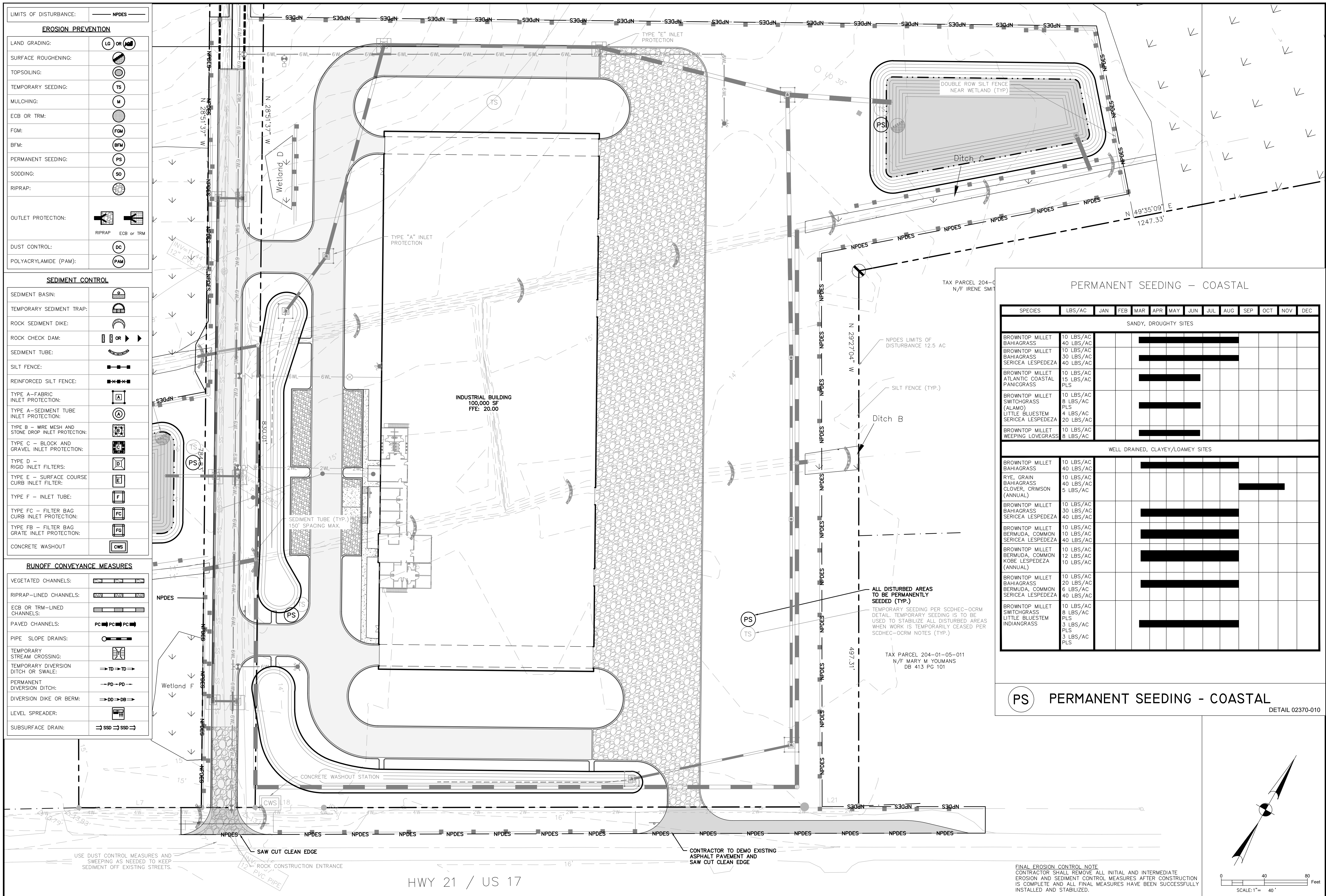
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EROSION PREVENTION

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SURFACE ROUGHENING:	
TOPSOILING:	
TEMPORARY SEEDING:	TS
MULCHING:	M
ECB OR TRM:	
FGM:	FGM
BFM:	BFM
PERMANENT SEEDING:	PS
SODDING:	SO
RIPRAP:	
OUTLET PROTECTION:	RIPRAP ECB or TRM
DUST CONTROL:	DC
POLYACRYLAMIDE (PAM):	PAM

SEDIMENT CONTROL

SEDIMENT BASIN:	S
TEMPORARY SEDIMENT TRAP:	
ROCK SEDIMENT DIKE:	
ROCK CHECK DAM:	
SEDIMENT TUBE:	
SILT FENCE:	
REINFORCED SILT FENCE:	
TYPE A - FABRIC INLET PROTECTION:	A
TYPE A - SEDIMENT TUBE INLET PROTECTION:	
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	B
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	C
TYPE D - RIGID INLET FILTERS:	D
TYPE E - SURFACE COURSE CURB INLET FILTER:	E
TYPE F - INLET TUBE:	F
TYPE FC - FILTER BAG CURB INLET PROTECTION:	FC
TYPE FB - FILTER BAG GRATE INLET PROTECTION:	FB
CONCRETE WASHOUT:	CWS

RUNOFF CONVEYANCE MEASURES

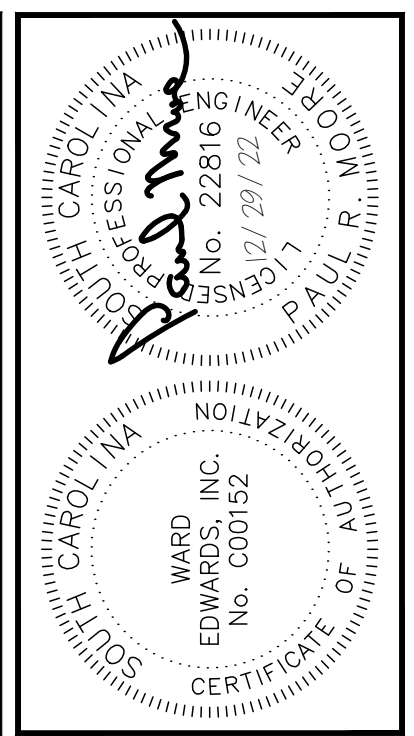
VEGETATED CHANNELS:	
RIPRAP-LINED CHANNELS:	
ECB OR TRM-LINED CHANNELS:	
PAVED CHANNELS:	PC
PIPE SLOPE DRAINS:	
TEMPORARY STREAM CROSSING:	
TEMPORARY DIVERSION DITCH OR SWALE:	TD
PERMANENT DIVERSION DITCH:	PD
DIVERSION DIKE OR BERM:	DD
LEVEL SPREADER:	
SUBSURFACE DRAIN:	SSD

PERMANENT SEEDING - COASTAL

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SANDY, DROUGHTY SITES													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
ATLANTIC COASTAL PANICGRASS	15 LBS/AC												
PLS													
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS	8 LBS/AC												
(ALAMO)													
LITTLE BLUESTEM	4 LBS/AC												
SERICA LESPEDEZA	20 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
WEEPING LOVEGRASS	8 LBS/AC												
WELL DRAINED, CLAYEY/LOAMEY SITES													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
RYE, GRAIN	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
CLOVER, CRIMSON (ANNUAL)	5 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	10 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	12 LBS/AC												
KOBE LESPEDEZA (ANNUAL)	10 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	20 LBS/AC												
BERMUDA, COMMON	6 LBS/AC												
SERICA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS	8 LBS/AC												
LITTLE BLUESTEM	3 LBS/AC												
INDIANGRASS	3 LBS/AC												
PLS													
PLS													

PS PERMANENT SEEDING - COASTAL

DETAIL 02370-010



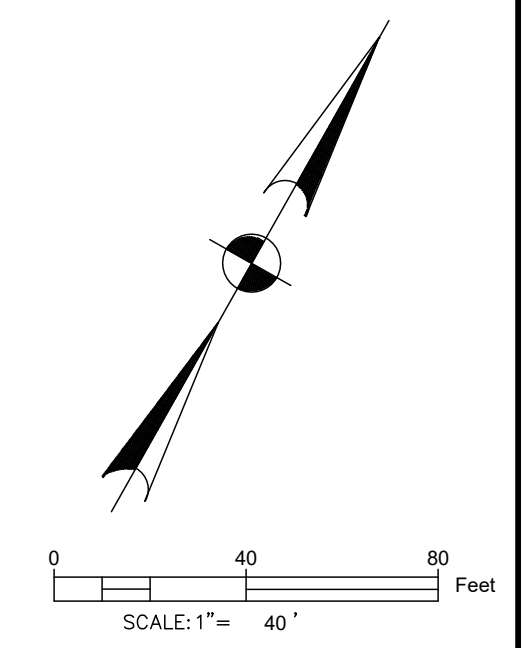
NO.	DESCRIPTION	DATE

Ward Edwards ENGINEERING
 P.O. BOX 381, BLUEFORD, SOUTH CAROLINA 29910
 PH (803) 837-5555 FAX (803) 837-4256
 WWW.WARDEDWARDS.COM

IRONLINE METALS
 TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
 TELL CITY, INDIANA
FINAL EROSION CONTROL PLAN

VERTICAL DATUM:	NAVD88
PROJECT #:	210148
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

SHEET C1001

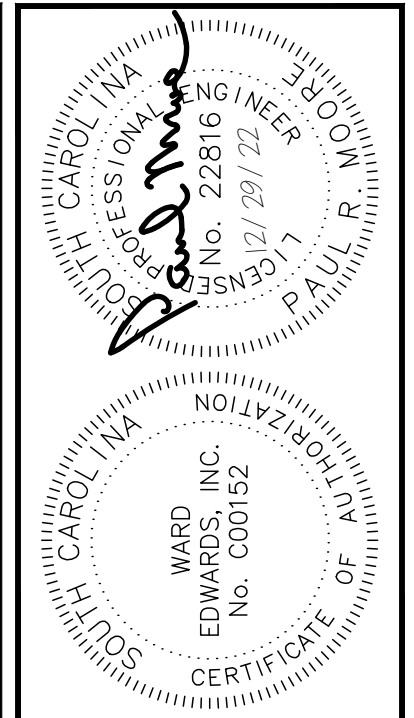
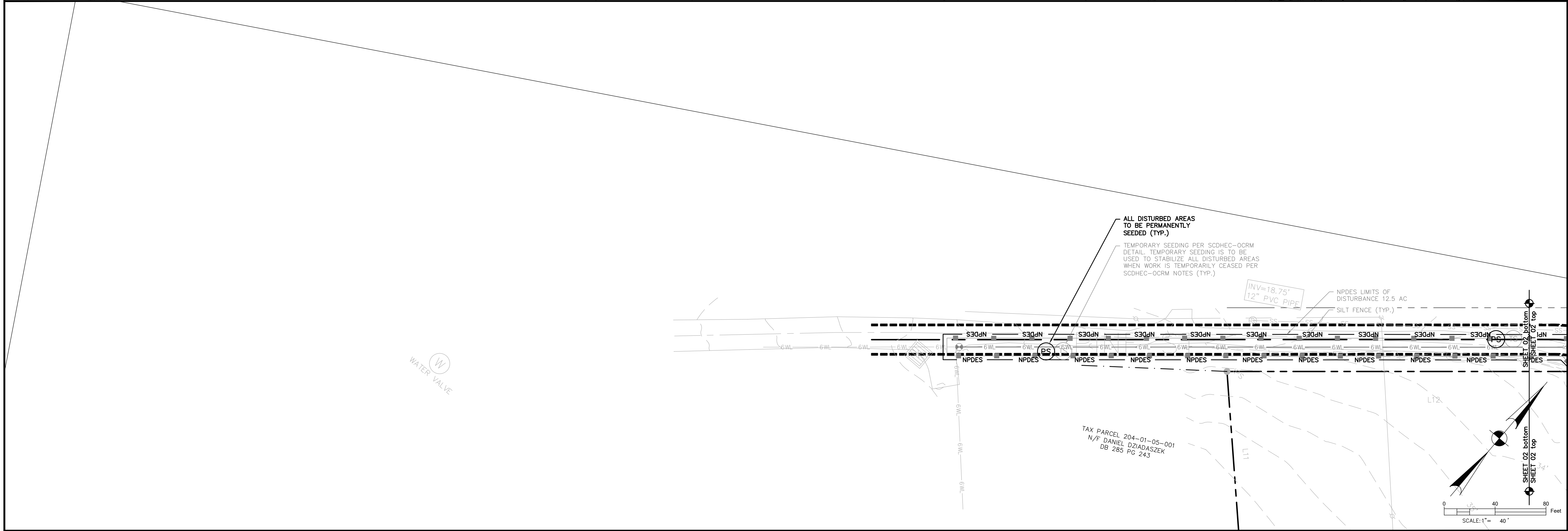
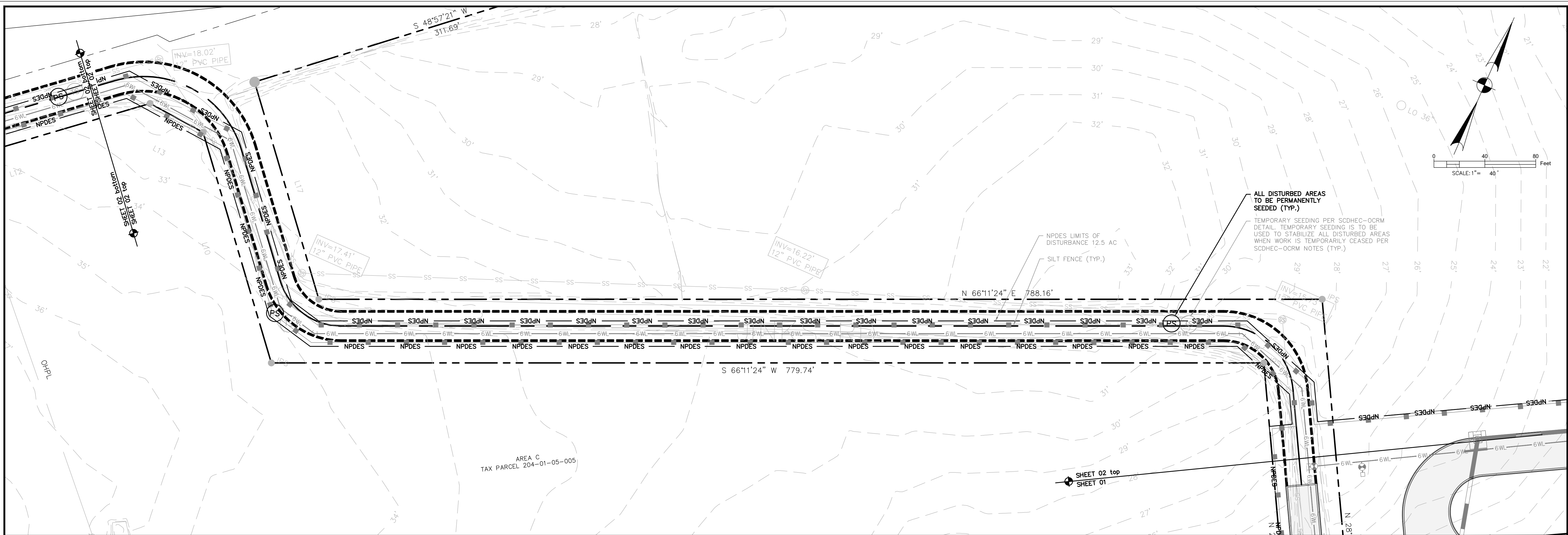


FINAL EROSION CONTROL NOTE
 CONTRACTOR SHALL REMOVE ALL INITIAL AND INTERMEDIATE EROSION AND SEDIMENT CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL FINAL MEASURES HAVE BEEN SUCCESSFULLY INSTALLED AND STABILIZED.

IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY

NOT FOR CONSTRUCTION

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NO.	DESCRIPTION	DATE
1		
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Ward Edwards
ENGINEERING

P.O. BOX 381, BILLETON, SOUTH CAROLINA 29910
PH (803) 877-5555 FAX (843) 877-2536
WWW.WARDEDWARDS.COM

IRONLINE METALS
TOWN OF YEMASSEE, SOUTH CAROLINA
RAMSEY DEVELOPMENT, LLC
TELL CITY, INDIANA
FINAL EROSION CONTROL PLAN

VERTICAL DATUM:
NAVD88

PROJECT #:	21016
DATE:	12/29/22
DESIGNED BY:	BMT
CHECKED BY:	CPB

SHEET C1002

NOT FOR CONSTRUCTION

Recommended Motion

(Pine Street Development – PUD Concept Plan)

I make a motion to:

- ***Approve***
- ***Approve with Conditions:***
- ***Deny***

“the Planned Unit Development Concept Plan application submitted by Ironline Metals, LLC. and to forward this request to the Town Council for consideration”.

Mayor
Peggy Bing-O'Banner
Mayor Pro Tempore
Matthew Garnes
Town Clerk



Council Members
Alfred Washington
Stacy Pinckney
David Paul Murray

Planning Commission Agenda Item

Subject: A request by Denis Thompson, for approval of an Amendment to the Town of Yemassee Official Zoning Map to rezone one (1) parcel from Residential ¼ Acre (R4A) to General Residential (GR). The subject parcel consists of 0.38 acres, located at 39 Mixon St and identified by Hampton County Tax Map Number: 204-02-03-007. **(ZONE-08-22-1077)**

Meeting Date: January 3, 2023

Submitted by: Matthew Garnes, Town Clerk

Attachments:

	Draft Ordinance		Resolution		Other
√	Support Documents		Motion		

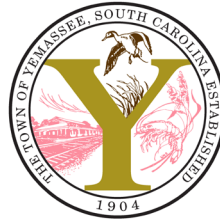
Summary: Discussion of the status of the rezoning request

Recommended Action:

Commission Action:

- Approved as Recommended
- Approved with Modifications
- Disapproved
- Tabled to Time Certain
- Other

Mayor
Peggy Bing-O'Banner
Mayor Pro Tempore
Matthew Garnes
Town Clerk



Council Members
Alfred Washington
Stacy Pinckney
David Paul Murray

Planning Commission Agenda Item

Subject: A request for a recommendation of approval for the annexation of an approximately 1.77-acre parcel located at 97 Kippit Ln, Beaufort County, and further identified by Beaufort County Tax Map Number: R700 019 000 098C 0000.

Meeting Date: January 3, 2023

Submitted by: Matthew Garnes, Town Clerk

Attachments:

	Draft Ordinance		Resolution		Other
√	Support Documents		Motion		

Summary: Staff received a petition for annexation for a single parcel of land totaling 1.77 acres of land located at 97 Kippit Ln, within the Sheldon community. The parcel currently contains a single-family dwelling at the end of a dirt road abutting the former railroad right-of-way, now owned by Beaufort-Jasper Water & Sewer Authority. The applicant is seeking a zoning designation of Agricultural per the Town of Yemassee Zoning Ordinance.

Recommended Action: Recommend advancing petition and scheduling a public hearing.

Commission Action:

- Approved as Recommended
- Approved with Modifications
- Disapproved
- Tabled to Time Certain
- Other



Staff Report Administration



December 7, 2022

Project: 97 Kippit Ln Annexation (Beaufort County TMS: R700 019 000 098C 0000)

Case Number: ANNX-03-22-1022

1. Request

Town Staff requests that Planning Commission discuss and consider advancing the Annexation Petition and Zoning Map Amendment to annex certain real property consisting of a total 1.77 acres, more or less, and bearing Beaufort County Tax Map No. R700 019 000 098C 0000 (the "Property") and establish zoning as Agricultural subject to the Town of Yemassee Zoning Ordinance.

Introduction: Earlier this year, Town Staff received a request for annexation via the 100% Petition and Ordinance method of a single tract of land on Kippit Lane, off Bailey Road in the Sheldon community of Beaufort County. Staff have reviewed the submission and ensured that contiguity was established to the parcel seeking annexation.

The existing zoning under the Beaufort County Community Development Code is Sheldon Big Estate Community Preservation [SBECP] which is a low density designation to discourage nonconforming uses that would be detrimental to the Sheldon Big Estate Community. The applicant seeks to be zoned Agricultural under the Town of Yemassee Zoning Ordinance.

Tax Map Number: R700 019 000 098C 0000

Acreage: 1.77

Current Zoning: Sheldon Big Estate Community Preservation [SBECP]

Current Use: Single-family dwelling

Proposed Zoning: Agricultural - AG (Town of Yemassee)



Staff Report Administration



Contiguity: The parcel petitioning for annexation is contiguous to the primary service area via the former railroad right-of-way between the subject parcel and Tomotley Plantation.

Adjacent Land Use/Zoning: The parcel is surrounded by the following properties and jurisdictions:

Direction	Parcel	Owner	Jurisdiction
North	R700 019 000 098A 0000 97 Bailey Rd	Carl Holm Jr	Beaufort County
North	R700 019 000 0288 0000 85 Bailey Rd	Rheudena Dobson	Beaufort County
West	R700 019 000 0231 0000 101 Bailey Rd	Kevin & Lori Sexton	Beaufort County
West	R710 013 000 0001 0000 300 Cotton Hall Rd	Tomotley Crew, LLC.	Town of Yemassee
East	R700 019 000 0097 0000 Unaddressed	Rheudena Dobson	Beaufort County
East	R700 019 000 096B 0000 71 Bailey Rd	Johnny Wright	Beaufort County
South	R700 019 000 0128 0000 44 Bryant Ln	Two O'Briens, LLC.	Beaufort County
South	R700 019 000 0127 0000 56 Bryant Ln	Yoruba Village aka African Village	Beaufort County

2. Staff Comments

Special Notes

The Town of Yemassee will be able to furnish all town services upon annexation.

The parcel would be subject to the adopted millage rate at the time of annexation, the adopted millage rate within the Beaufort County portion of the Town of Yemassee, is 69.60 mills.



Staff Report

Administration



4. Analysis

The following analysis has been conducted on the parcel petitioning for Annexation.

- 1.) The application is in the best interests of the Town of Yemassee and its residents.
 - a. *Finding:* Staff completed a Cost/Benefit Analysis and provided the property owner with an estimated tax liability upon Annexation. Any vehicles or personal/business property taxed by Beaufort County will be subject to the city tax rate imposed for FY2023 which is 69.60 mills.
- 2.) The property has contiguity to the Town of Yemassee corporate limits
 - a. *Finding:* The property is contiguous to the Town of Yemassee corporate limits on one side via Tomotley Plantation and the former railroad right-of-way.
- 3.) Does the Annexation avoid creating new doughnut holes or enclaves in the Town Limits?
 - a. *Finding:* The proposed Annexation will not create any new doughnut holes or enclaves in the Town of Yemassee corporate limits.
- 4.) The Annexation will not create a tax burden or measurably reduce the level of service(s) provided to existing citizens and property owners.
 - a. *Finding:* Based on the current use of the property, a tax burden is not created and a reduction in the level of service is not anticipated in the first year of Annexation.
- 5.) Consideration of the Annexation areas existing utilities, transportation, and infrastructure.
 - a. *Finding:* The franchised water and sewer provider in the Town of Yemassee is Lowcountry Regional Water however there is no infrastructure in this community. Dominion Energy currently provides electric and natural gas services. Telecommunications service can be provided by Century Link or Xfinity (Comcast) Communications.
- 6.) The full impact the Annexation will have on Law Enforcement has been considered.



Staff Report Administration



- a. *Finding:* The Police Department has advised this parcel will not have a negative impact on the services provided by the Yemassee Police Department. Upon annexation, the primary response agency will be the Yemassee Police Department, with backup provided via a Mutual-Aid agreement with the Beaufort County Sheriff's Office.

Attachments

- Annexation Petition



**TOWN OF YEMASSEE
ANNEXATION APPLICATION**

Town of Yemassee
MAR 01 2022
Received

Town of Yemassee
Attn: Administration Department
101 Town Cir
Yemassee, SC 29945-3363
(843) 589-2565 Ext. 3
<http://www.townofyemassee.org>

Applicant		Property Owner	
Name: White, Rosa L		Name: White, Rosa L	
Phone: 843 271-0469		Phone: 843 271-0469	
Mailing Address: 97 Kippit Lane P.O. Box 45, Yemassee, SC 29945		Mailing Address: 97 Kippit Lane P.O. Box 45, Yemassee, SC 29945	
E-mail: Rosa White 904 @ gmail		E-mail: Rosa White 904 @ gmail	
Town Business License # (if applicable):			
Property Information			
County: <input checked="" type="checkbox"/> Beaufort <input type="checkbox"/> Hampton <input type="checkbox"/> Jasper		Acreage: 1.77	
Property Location: 97 Kippit Ln			
Existing Zoning: SBFCP		Proposed Zoning: Agricultural	
Tax Map Number(s): R700 019 000 698C 0000			
Project Description: Annexation of single parcel			
Select Annexation Method			
<input checked="" type="checkbox"/> 100 Percent Petition and Ordinance Method		<input type="checkbox"/> 75 Percent Petition and Ordinance Method	<input type="checkbox"/> 25 Percent Elector Petition and Election Method
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Completed Annexation Petition(s) <input type="checkbox"/> 2. Copy of plat and/or survey of area requesting annexation <input type="checkbox"/> 3. Parcel Information from the appropriate County Assessor's Office			
Note: Application is not valid unless signed and dated by property owner.			
Disclaimer: The Town of Yemassee assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property.			
Property Owner Signature: Rosa White		Date: 2-28-22	
Applicant Signature: Rosa White		Date: 2-28-22	
For Office Use			
Application Number: ANNEX-03-22-1022		Date Received: 2-28-22	
Received By: Teriyonda Singleton		Date Approved:	



Beaufort County, South Carolina

generated on 12/30/2022 3:13:10 PM EST

Property ID (PIN)	Alternate ID (AIN)	Parcel Address	Data refreshed as of	Assess Year	Pay Year
R700 019 000 098C 0000	04472216	97 KIPPIT LN, SHELDON	10/8/2022	2022	2021

Current Parcel Information

Owner	WHITE ROSA LEE	Property Class Code	ResImp SingleFamily
Owner Address	PO BOX 45 SHELDON SC 29941	Acreage	1.7700
Legal Description	PAR A POR OF PROVIDENCE PB40 P133		

Historic Information

Tax Year	Land	Building	Market	Taxes	Payment
2022	\$31,000	\$53,100	\$84,100	\$296.66	\$296.66
2021	\$31,000	\$53,100	\$84,100	\$293.67	\$293.67
2020	\$31,000	\$53,100	\$84,100	\$294.48	\$294.48
2019	\$31,000	\$53,100	\$84,100	\$289.86	\$289.86
2018	\$31,000	\$53,100	\$84,100	\$270.44	\$270.44
2017	\$36,500	\$78,000	\$114,500	\$391.67	\$391.67
2016	\$36,500	\$78,000	\$114,500	\$381.45	\$381.45
2015	\$36,500	\$78,000	\$114,500	\$375.55	\$375.55
2014	\$36,500	\$78,000	\$114,500	\$332.30	\$332.30

2013	\$36,500	\$78,000	\$114,500	\$328.17	\$328.17
2012	\$52,115	\$113,974	\$166,089	\$237.83	\$237.83

Sales Disclosure

Grantor	Book & Page	Date	Deed	Vacant	Sale Price
BROWN WILLIAM JAMES MIDDLETON ROSA LEE PO	573 1498	12/27/1990	Fu		\$5
		12/31/1776	Or		\$0

Improvements

Building	Type	Use Code Description	Constructed Year	Stories	Rooms	Square Footage	Improvement Size
R01	DWELL	Dwelling	1996	1.0	03	1,308	

Recommended Motion

(Kippit Ln Annexation) – ANNX-03-22-1022

I make a motion to:

- ***Advance to Town Council and Schedule a Public Hearing***
- ***Table until time certain***
- ***Deny***

“Annexation application for 97 Kippit Ln”.